



SUMNER TOWN CENTER FORM-BASED CODE

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CITY OF
SUMNER
WASHINGTON

CONSULTANT TEAM:

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EconNW

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1. 1. Authority and Purpose

1. Introduction

- A. The Town Center Plan was originally adopted on July 18, 2005 (9132) as a subarea plan and expresses the future vision for the downtown and areas within close walking distance of historic Main Street and the Sounder regional transit service and commuter rail station. The Town Center Area is intended to provide for mid-rise urban housing at a density that augments and supports the Main Street businesses and provides access to transit service. The vision for the Town Center Plan area is retain downtown as a valuable cultural and economic asset to the citizens of Sumner with a mix of housing, successful businesses, walkable and livable streets, ample open space and celebration of the riverfront.
- B. The purpose of the form-based code is to realize the vision for this area in the built environment through the management of building scale, bulk, frontages, streetscapes, landscaping, and private and public open-space designed to create an urban lifestyle that embodies Sumner’s vision for a walkable, vibrant, and livable downtown. All references herein to the Town Center Code refers to the City’s adopted Form-based code.
- C. The goal of the Town Center is to encourage development that not only supports the station and alternative travel options, but also

to further enhance Downtown in accordance with the community vision:

- Sumner, a city of excellence reinforcing its role as classic, small-town Americana that goes beyond nostalgia, and
- Sumner, a community that retains/strengthens a fully functional, “everyday” downtown.
- Sumner, a community that provides housing for all life stages and recognizes the value of a transit station for convenience of residents.

D. Applicability and Relationship to Other Regulations:

The Town Center Code provisions herein are a chapter of Title 18, Zoning Code and the City of Sumner Design and Development Guidelines.

The City of Sumner Shoreline Master Program (SMC Title 16, Chapter II) sets forth policy and regulations for development within shoreline jurisdiction of the White River. New development within the shoreline jurisdiction is required to be in compliance with Shoreline Master Program.

The Historic Preservation Ordinance (SMC 18.39) sets forth policy and regulations for the identification, evaluation, designation, and protection of designated historic and prehistoric resources within the boundaries of city of Sumner and strives to preserve and rehabilitate eligible historic properties within the city of Sumner for future generations through special valuation, and a property tax incentive, as provided in chapter 84.26 RCW.

The Parks and Trail Plan contains future park and trail locations and supporting facilities and capital facilities plan. The document Plan identifies areas for expansion of new city owned parks and trails and

identifies on-street options for bicyclists. Future potential parks and opportunity sites have been identified conceptually on the Town Center Regulating Map for reference.

2. Planned Action Ordinance

- A.** A Planned Action Ordinance No. 2941 was adopted following the preparation of a supplemental environmental impact statement (EIS) per State Environmental Policy Act (SEPA) for the Town Center subarea plan. A planned action involves detailed SEPA review and preparation of EIS documents in conjunction with subarea plans, consistent with RCW 43.21C.031 and WAC 197-11-164 through WAC 197-11-172. Such up-front analysis of impacts and mitigation measures then facilitates environmental review of subsequent individual development projects.

3. Effective Date

- A. This Town Center Form-based Code was updated and adopted on November 24, 2025 and became effective on January 1, 2026.

4. Town Center Plan Area Purpose

- A. The Town Center Plan area is illustrated on the adopted Zoning map (Fig. 2).
- B. This Town Center Code provides the means to guide implementation of the citizen-endorsed vision for property within the following four Town Center Districts:
 - i. Station District and Transition Area;
 - ii. Riverfront District;
 - iii. Historic CBD District;
 - iv. West Sumner District.
- C. This Town Center Code helps to foster predictable results and a high-quality public realm by prescribing the physical form of buildings and other elements and addressing the relationship between building facades and the public realm, the form and mass of buildings in relation to one another and the scale and types of streets and blocks.

5. Intent

- A. This Town Center Code is intended to balance conservation and development by:
 - 1. Promoting development that maintains the Town Center position as the city's predominant economic, civic, and cultural center.
 - 2. Promoting transit-oriented development that enhances their function as mixed-

use, walkable centers that serve surrounding residential neighborhoods.

- 3. Providing standards for compatible transitions of use, building scale and height between existing and new development.
- 4. Providing clear and consistent procedures for appropriate and effective public involvement in land use and development decisions.
- B. This Town Center Code is intended to achieve design excellence in the built environment by:
 - 1. Providing building and site design standards that address the public aspects of private development and how building form, placement, and uses contribute to the quality of the public realm.
 - 2. Providing parking and access standards that appropriately balance pedestrian and vehicular needs and result in safe pedestrian environments of the highest quality.
 - 3. Promoting high quality innovative landscape design that advances the function and beauty of the Town Center.
 - 4. Encouraging preservation and protection of historic resources.
- C. The Town Center Code is intended to guide the Town Center's prosperous and sustainable future by:
 - 1. Providing clear regulations and processes that result in predictable, efficient, and coordinated review processes.
 - 2. Promoting sustainable building and site design practices.
 - 3. Promoting diverse housing options.
 - 4. Providing standards for interconnected streets and development patterns that support all modes of travel (walking, bicycling, public transit, driving).
 - 5. Promoting conservation of land, energy, and natural resources.

6. Applicability

- A. The Town Center Code applies to all property within the Town Center Plan Area as shown in the City of Sumner Official Zoning Map.
- B. All standards and references to streets in the Town Center Code apply to both public and private streets. Private streets must not be obstructed and must maintain vehicular and pedestrian connectivity

7. Conflicting Provisions

- A. Where Sumner Municipal Code conflicts with a standard set out in the Town Center Code, the standard of this Town Center Code controls.
- B. Illustrations, photographs and graphics are included in this Town Center Code to illustrate the intent and requirements of the text. In the case of a conflict between the text of this Town Center Code and any illustrations, photographs and graphics, the text governs.

8. Code Review

- A. The City should monitor the progress of development in the designated Planned Action area as deemed appropriate to ensure that it is consistent with the assumptions of the Town Center Subarea Plan Update and Planned Action SEIS regarding the type and amount of development, its associated impacts and with the mitigation measures and improvements planned for the Planned Action area.
- B. The Development Services Director will work with the Planning and Design Commission to conduct a regular review of

the Town Center Code standards and review processes. This review will include a survey of development projects under the PAO review process, a detailed review of the parking standards and solicit the feedback of citizens.

- C. The information garnered from the survey information and staff report will be reviewed by the Planning and Design Commission and presented by the Development Services Director or his/her designee to the City Council with any recommendations for changes to Town Center Code standards and review processes.
- D. The Town Center Plan and this Town Center Code shall be updated at least every 5 years or during an Annual Amendment cycle.
- E. Town Center PAO shall be reviewed by the SEPA Responsible Official no later than five (5) years from its effective date in conjunction with the City's regular Comprehensive Plan review cycle, as applicable

1. 2. Code Administration

1. Authority

The Administrator of the Town Center Code is the Development Director (Director). The Administrator is responsible for the day-to-day administration of this Town Center Code.

2. Delegation of Authority

- A. The Director may designate any staff member to represent the Administrator in any function assigned by this Code. The Director remains responsible for any final action.
- B. The Director (or designee) is

authorized to approve applications for Plan Review as defined below.

- C.** No Certificate of Occupancy or permit may be issued for development activities until the Director has approved the plan(s) in accordance with this Chapter.

1. 3. Technical Plan Review

1. Applicability

- A. The construction, reconstruction, extension, repair, renovation or alteration of any building, structure, site, change of use or use of land is subject to the review process as set forth below.
- B. The following do not require Plan Review:
 - 1. Interior alterations/renovations that do not alter the footprint, height or exterior of a structure.
 - 2. Routine maintenance and minor repairs (such as painting, replacing roof shingles/lining to match existing, replacement of gutters to match existing) to any part of a building when there is no change in appearance.
 - 3. Activities exempt from Plan Review may still require building permit review.

2. Existing Nonconformities

The lawful use of a structure or site in place

at the time of the effective date of this Town Center Code (or any subsequent amendments) is not affected by the passage of this Town Center Code, to the extent that it is a legal nonconforming use, structure or site as referenced under title SMC 18.46.

3. Specified Uses

- A. For existing residential dwellings lawfully constructed as of the effective date of title may be maintained and expanded under provisions following SMC 18.29.060(B).
- B. Conversion of existing specified uses can be converted into commercial but not multifamily.

4. Review Process

- A. Land-Use Permit review process will follow SMC 18.56.
 - B. Design review required pursuant to SMC 18.40
-

1. 4. Form-based Code Modifications

1. Purpose

1. The standards established in this Town Center Code are intended to achieve the following principles:
 - a. Maintain a safe, walkable and attractive urban environment along the street;
 - b. Maximize opportunities for redevelopment and investment in the Town Center;
 - c. Provide a diversity of housing options;
 - d. Promote development that will support transit and commercial services the community desires;
 - e. Protect established single-family residential areas from incompatible development;
 - f. Protect integrity of established Historic Districts and significant historic/civic landmarks;
 - g. Balance development opportunity and conservation along the riverfront by promoting development scale/form that maintains public accessibility to the river and considers public/private benefits of scenic views along the river;
 - h. Consider impacts of topography, both in terms of reasonableness of the standard when applied to a particular site and the potential impacts on adjoining properties;
 - i. Increase the tree canopy
 - j. Support adopted plan policies and recommendations.
2. However, specific site features (topographic changes, lot size or irregular dimension, physical barriers or easements) may create conditions that make compliance with a specific standard impractical or undesirable. It is also recognized that alternative design solutions may achieve the principles stated above but may not comply with a specific standard. This section establishes the procedures for considering requests for a

modification to the standards. These are divided into minor staff approved modifications, and major modifications approved by the Director upon recommendation by the Design Commission.

3. It is the responsibility of the applicant to meet the burden of clearly demonstrating the reason for the requested code exception and to provide sufficient documentation to illustrate how the modification is related to a site constraint and/or how the modification would equal or exceed the existing standard in terms of achieving the principles stated above.

2. Minor Code Modifications

During the Plan Review process, the Director is authorized to approve minor code modifications at the request of an applicant, provided the portion of property for the requested modification does not fall within 30 feet of any Low Density Residential zone. Any code modification request that falls within 30 feet of any Low Density Residential zone must be considered by the Design Commission. The Director is only authorized to take action on the merits of a specific requested code modification and is not authorized to require the applicant to offset the code modifications with additional development enhancements.

A. Building Coverage

Increase of up to 5% of the maximum building coverage allowance.

B. Building Setbacks

- i. Increase of up to 5 feet of a required maximum primary or side street setback. Decrease of up to 2 feet of a required minimum primary or side street setback.
- ii. Decrease of up to 2 feet of a required common lot line or alley setback. Setbacks abutting a transition zone cannot be reduced by the Director.

C. Lot Frontage

Decrease of up to 10% of a primary or side street lot frontage requirement.

D. Parking Setbacks

- i. Decrease of up to 5 feet of a required primary or side street parking setback.
- ii. Decrease of up to 2 feet of a required common lot line or alley setback. Setbacks abutting a protected zone cannot be reduced by the Director.

E. Building Mass

Increase of up to 50 feet of the maximum length of a street-facing building facade.

F. Transparency

- i. Decrease of up to 5% of the minimum percentage of windows and doors that must cover a street-facing building facade.
- ii. Increase of up to 5 feet of a maximum allowed blank wall area on a street-facing building facade.

G. Story Height

- i. Decrease of up to 1 foot of a required minimum ground floor elevation or up to 18 inches for accessibility needs.
- ii. Increase of up to 2 feet of a required maximum ground floor elevation.
- iii. Increase of up to 5 feet of a required maximum ground floor elevation if there is a slope of 10% or greater (as measured parallel to the street).
- iv. Decrease of up to 1 foot of a required minimum ground story floor height.

H. Pedestrian Access

Increase of up to 10 feet of the maximum required distance between street-facing entrances.

I. Sidewalk and Street Tree/Furniture Zone

- i. Decrease the minimum Pedestrian or Street Tree zone depth in cases where insufficient right-of-way exists as measured from the street curb to the right-of-way line after consulting with the Public Works Director.
- ii. Decrease or increase tree spacing where the existing tree pattern is different, or to accommodate utilities or underground vaults after consulting with the Public Works Director.

J. Landscape

- i. A reduction of up to 50% in the width of a buffer abutting a public easement or right-of-way may be granted, provided that all of the originally required landscape material is included in the reduced-width buffer.
- ii. Where conflicts arise, perimeter plantings or other required landscape abutting a street edge may be substituted for streetscape planting within the public right-of-way.
- iii. Alter the spacing of the required Interior Islands to accommodate existing healthy, high quality trees, vegetated green infrastructure, or to maintain the number of required parking spaces. The total number of required trees must still be provided and the tree spacing must still provide

shade cover for the entire parking lot.

3. Major Modifications

1. The Hearing Examiner is responsible for reviewing major modification requests that do not qualify for staff approval, and to review appeals of staff decisions/interpretations.
2. When reviewing requests for modifications, the Hearing Examiner must consider the principles stated below.
3. The Hearing Examiner's decision to approve or deny a request for a modification is based on the following considerations:
 - a. The physical conditions of the property, such as steep slopes, flood plain, drainage, or small or irregular lot shape, make compliance to the specific standard physically impossible, and this hardship is not created by the applicant; or
 - b. The applicant meets the burden of presenting an alternative means of compliance that clearly demonstrates how the code exception would equal or exceed the existing standard in terms of

achieving the stated principles above; and

- c. The modification will not significantly impact adjacent property owners, the character of the area, traffic conditions, parking, public infrastructure, water quality management, and other matters affecting the public health, safety and general welfare
 - d. The modification will not result in a substantial departure from the basic urban principle that buildings should directly front streets (as opposed to being set back from the right-of-way) and add value to the animation and pedestrian walkability of the street edge.
4. The consideration of a Major Modification shall be subject to the procedures established in chapter SMC 18.56 Land Use Procedures for a Variance request before the Hearing Examiner.
- ### 4. Appeals
- A. Appeals of minor modifications see SMC 18.56.160.
 - B. Appeals of major modifications see SMC 18.56.170.

Chapter 2. Town Center District Areas & Streets

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2.1 District Areas

The Town Center Code is organized by Districts derived from existing and future neighborhood characteristics. Districts are distinguished from one another by their overall physical and functional form, including but not limited to: street and block patterns; building placement and height; diversity, distribution, and intensity of land uses; and diversity of mobility options. This approach provides a range of zoning options that set standards for new development that change based on the established District of a particular neighborhood.

1. District Zoning

Town Center Plan Districts Height Table


The following Downtown zones, organized by District are established below.

	Height (in stories)
STATION DISTRICT (SD)	2-5
SD- Transition Area	2-3
Riverfront (RD)	2-6
RD- West Main Street	2-5
WEST SUMNER DISTRICT (WSD)	3-6
WSD-IDEA Overlay	1-3; 4-6
HISTORIC CBD (HCBD)	1-4
HCBD- Transition Area	1-3

2. Town Center District Areas Established

The following Town Center Districts are established below (Figure 1).

Figure 1. Town Center Districts

			
Station (SD)	Riverfront (RD)	Historic CBD (HCBD)	West Sumner (WSD)
<p>Consists of low-to-medium-intensity residential and commercial areas (up to 5 stories)</p> 	<p>Consists of medium-intensity residential and commercial areas (up to 6 stories).</p> 	<p>Consists of medium-to-high intensity (up to 4 stories) that is compatible with and maintains a lively Downtown character, formerly known as the historic commercial business.</p> 	<p>Consists of the greatest intensity and height (up to 6 stories), with the greatest variety of uses.</p> 

2.3. Town Center Map

Figure 2. Town Center District Zoning map

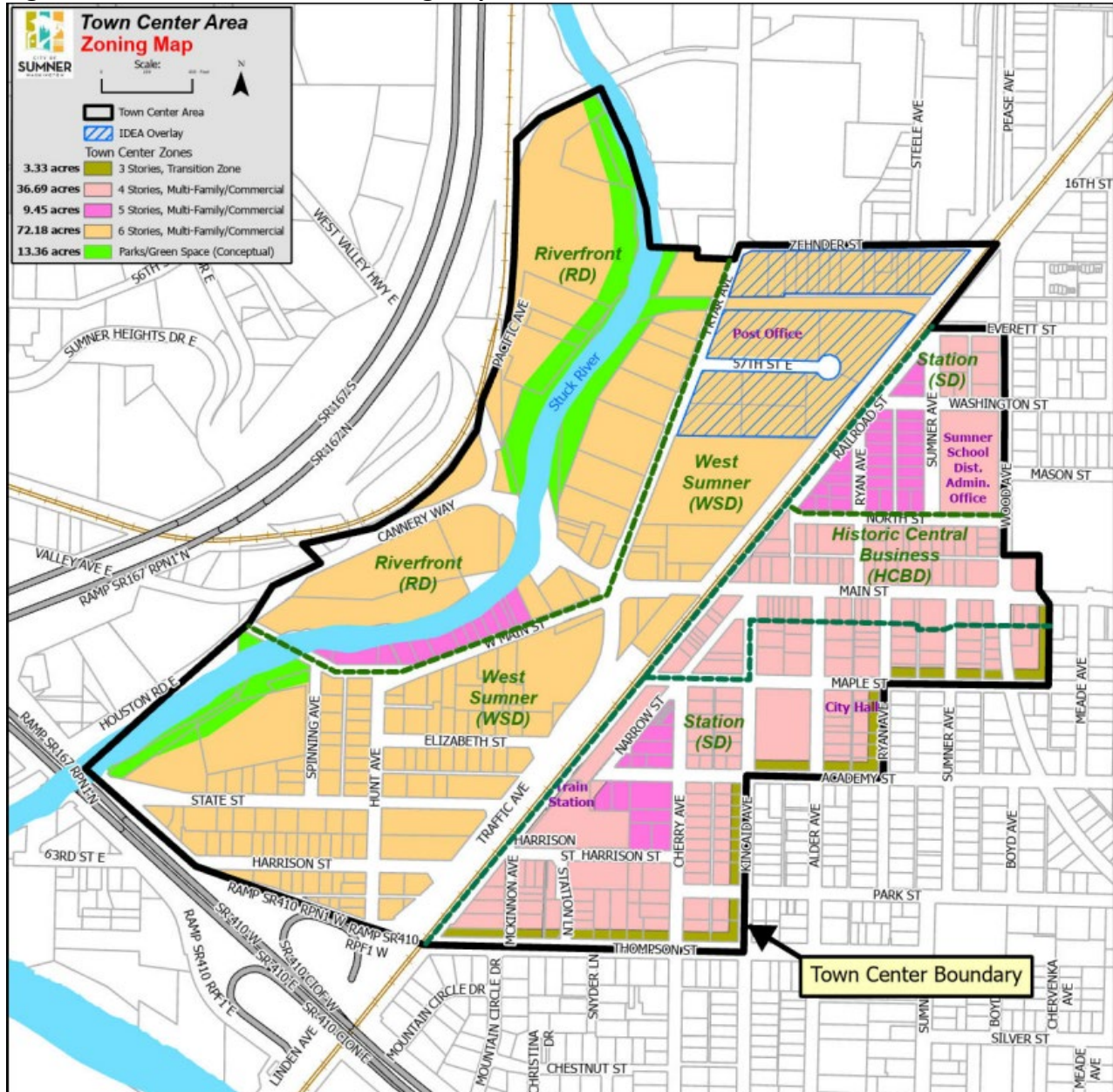


Figure 3. Town Center Street Type Map



2. 5. TC Street Standard Details

1. TC Arterial



Diagrams are for illustrative purposes

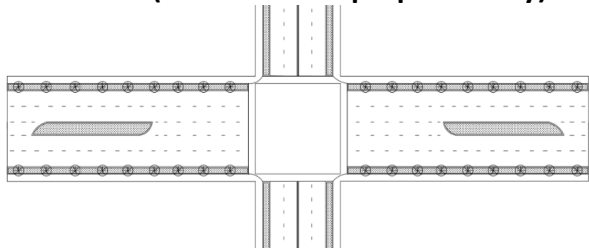
TC Arterial Street Standards:

1. Main Street (west of tracks)
2. Cannery Way
3. Fryar Ave
4. Traffic Ave

Typical 80'-90' ROW width
 70-80 ft. ROW
 70-80 ft. ROW
 70-80 ft. ROW
 80-90 ft. ROW

Ⓐ Drive aisle width	11' min
Ⓑ Center Turn Lane	10' min
Ⓒ Sidewalk width	6' min
Ⓓ Sumner Link Trail*	14' min
Ⓔ Landscape buffer/tree planting width	See public realm standards

Typical Arterial Street Cross section (informational purposes only):



Dedication of ROW may occur pursuant to SMC, as approved per the Director.
 *refer to the Sumner's Parks and Trails plan and the TMP for Trail improvements

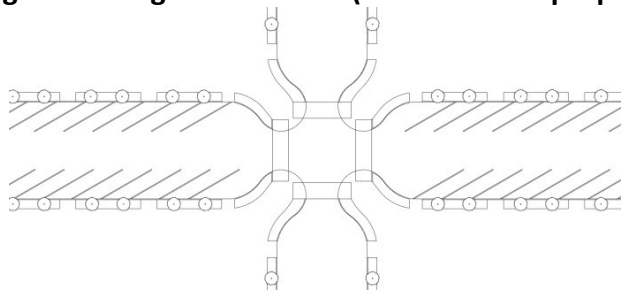
2. TC Collector w/ Angled Parking



TC Collector Street Standards: 80' ROW width

Ⓐ Drive aisle width	10' min
Ⓑ Back-in Angled Parking	18' min
Ⓒ Sidewalk width	6' min
Ⓓ Landscape buffer/tree planting width	See public realm standards

Typical Collector w/ Angled Parking cross section (informational purposes only):



**where there is insufficient ROW, the Director may approve a minor modification and/or allow dedication options pursuant to SMC.*

3. TC Collector w/ Parallel parking

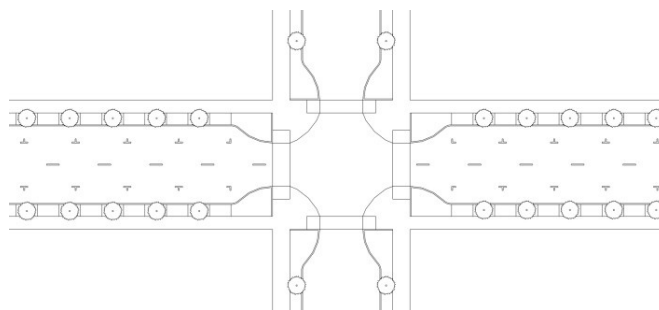


Diagrams are for illustrative purposes

TC Collector Street Standard: 60' ROW width

<u>Ⓐ Drive aisle width</u>	10' min
<u>Ⓑ Parallel Parking (both sides)</u>	8' min
<u>Ⓒ Sidewalk width</u>	6' min
<u>Ⓓ Landscape/Tree/Furniture Zone</u>	See public realm standards

Typical Collector w/ Parallel Parking cross section (informational purposes only):



Dedication of ROW may occur pursuant to SMC, as approved per the Director

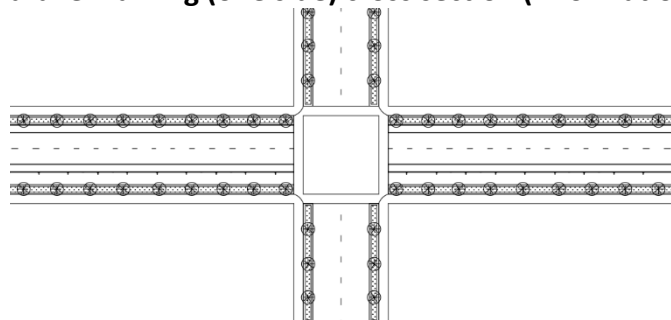
4. TC Collector -Zehnder Street



TC Collector Street Standard: 60' ROW width

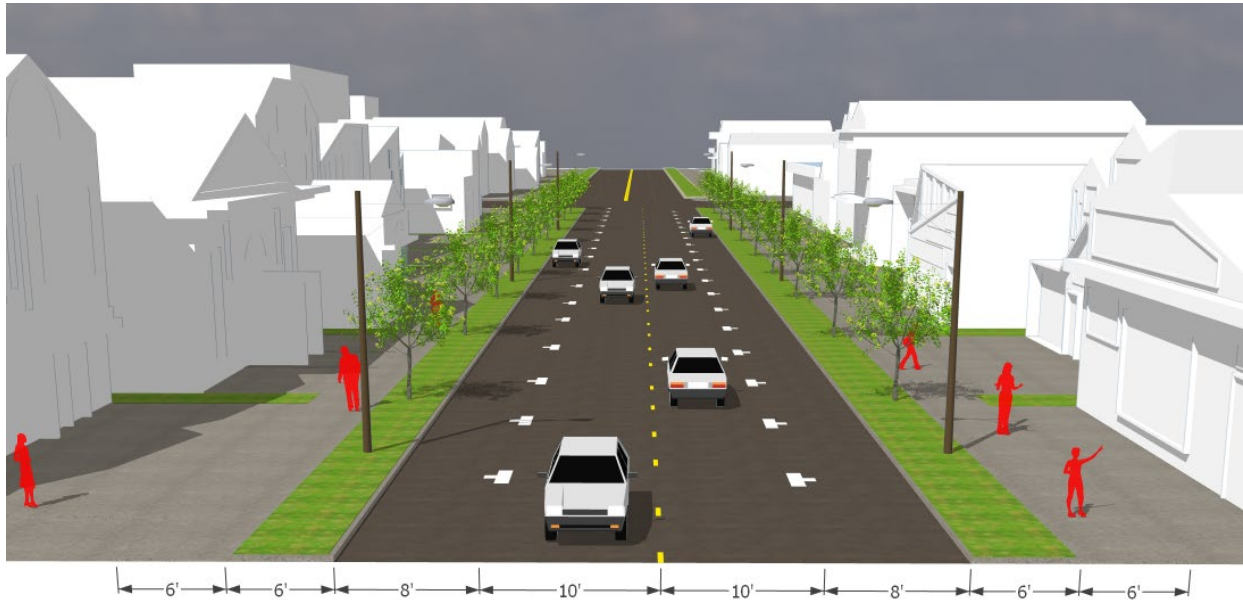
Ⓐ Drive aisle width	11' min
Ⓑ Parallel Parking (one side)	8' min
Ⓒ Sidewalk width	6' min
Ⓓ Landscape/Tree/Furniture Zone	4' min

Typical Collector w/ Parallel Parking (one side) cross section (informational purposes only):



Dedication of ROW may occur pursuant to SMC, as approved per the Director

5. TC Local Street



Diagrams are for illustrative purposes

TC Local Street Standard: 60' ROW width

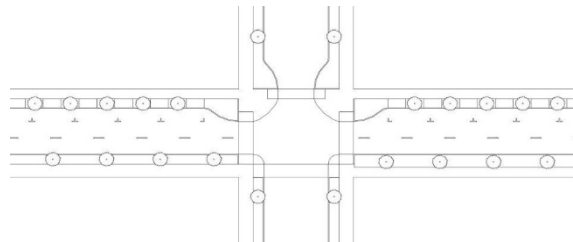
Ⓐ Drive aisle width	10' min
Ⓑ Parallel Parking	8' min
Ⓒ Sidewalk width	6' min
Ⓓ Landscape/Tree/Furniture Zone	6' min*

TC Local Streets approved for 50' ROW width:

1. Railroad Street
2. Ryan Ave (Between North Street and Main Street)

Ⓐ Drive aisle width	10' min
Ⓑ Parallel Parking (one side see typical cross section below)	8' min
Ⓒ Sidewalk width	6' min*
Ⓓ Landscape/Tree/Furniture Zone	4' min

Typical Local Street Cross Section (informational purpose only):



*where there is insufficient ROW, the Director may reduce through a minor modification and/or allow dedication options pursuant to SMC.

6. TC One-Way Street -West Main Street



Diagram is for illustrative purposes

TC One-Way Street Standard: 60' ROW width

Ⓐ Drive aisle width	11' min
Ⓑ Back-in Angled Parking (one side)	18' min
Ⓒ Sumner Link Trail width*	14' min
Ⓓ Sidewalk width	6' min
Ⓔ Landscape/Tree/Furniture Zone	6' min

** Refer to Sumner's Parks and Trails plan and the TMP for Trail improvements*

Chapter 3. Rules for All Zones

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3. 1. Lot Types

1. Purpose

- A. Lot types establish a common vocabulary for the built environment and are used primarily to establish broad intensity and use options for each lot. For example, the Mixed-Use Lot Type allows a mixture of residential and commercial uses on a single lot, while, the Multi-Unit Lot Type (5+ units), allows any number of residential units provided they fit within the constraints of the district.
- B. Alternative configurations for each lot type are shown to encourage creative building design and to help expand housing options in the Town Center. The configurations shown are not an exhaustive list, additional configurations that fit within the rules of the zone are encouraged.
- C. Lot types are allowed by zone. Some zones allow multiple lot types.
- D. The primary constraint for each lot type is minimum lot size, which applies based on the respective zone.

2. Descriptions

- A. Two-Unit Residential
A lot that allows up to two attached dwelling units. Except for home occupations, no commercial activity is allowed. Up to 2 detached ADUs allowed subject to site development requirements.
- B. Single-Unit Residential attached
A lot that allows one dwelling unit, attached on one or more sides to a single unit on an abutting lot, including detached ADUs. No commercial activity is allowed, except live/work is allowed in certain zones subject to standards that limit the scale and extent of the commercial activity.
- C. Multi-Unit (Up to 4 units)
A lot that allows up to four attached dwelling units. No commercial activity is allowed, except for home occupations and live/work is allowed in certain districts subject to standards that limit the scale and extent of the commercial activity.
- D. Multi-Unit (5+ units)
A lot that allows five or more attached dwelling units. No commercial activity is allowed, except for home occupations and live/work is allowed in certain districts subject to standards that limit the scale and extent of the commercial activity.
- E. Mixed-Use
A lot that allows a variety of permitted residential and commercial uses.
- F. Commercial
A lot that allows a variety of permitted commercial uses. No residential uses are allowed.
- G. IDEA
A lot that allows a variety of small-scale manufacturing uses, also known as artisan manufacturers or light fabricators, mixed-use lot types are allowed in this overlay, see listed uses under SMC 18.22.040.

H. Civic

A lot that allows a specific set of public and/or institutional uses. No residential use is allowed.

3. Two-Unit Attached

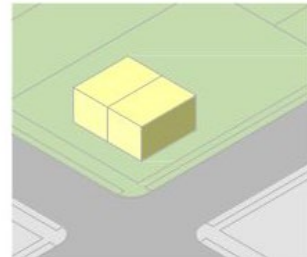
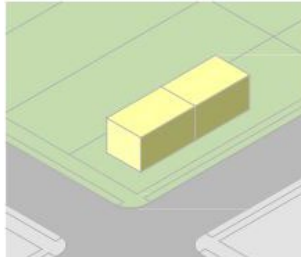
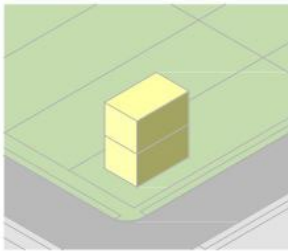
A. Description

A lot that allows up to two attached dwelling units. Except for home occupations, no commercial activity is allowed. Up to 2 detached ADUs allowed subject to site development requirements.

B. Character Examples



C. Configuration Example



D. Districts Allowed

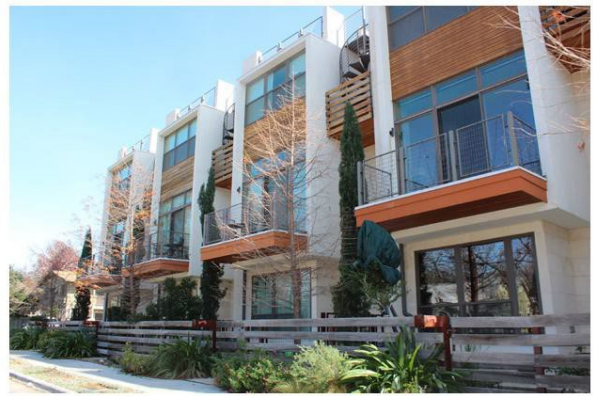
1. Station District w/in transition area
2. Riverfront

4. Multi-Unit (up to 4)

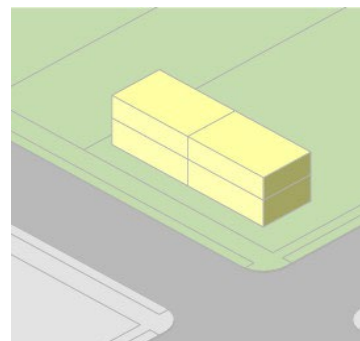
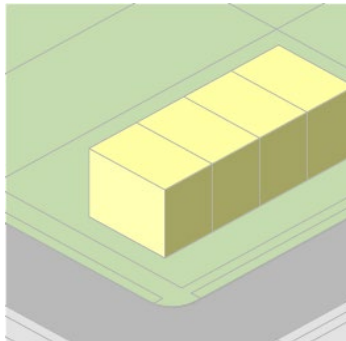
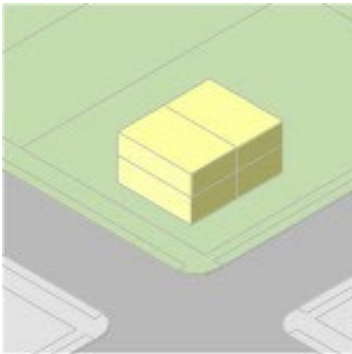
A. Description

A lot that allows up to four attached dwelling units. No commercial activity is allowed, except for home occupations and live/work is allowed in certain districts subject to standards that limit the scale and extent of the commercial activity.

B. Character Examples



C. Configuration Examples



D. Districts Allowed

1. Station District
2. West Sumner
3. Riverfront

5. Single-unit Residential Attached

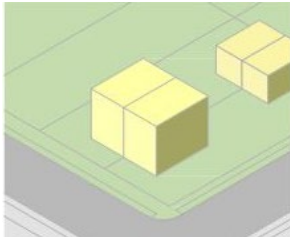
A. Description

A lot that allows one dwelling unit, attached on one or more sides to a single unit on an abutting lot. Also allows one detached or attached accessory dwelling unit per lot. No commercial activity is allowed, except home occupations and live/ work is allowed in certain zones subject to standards that limit the scale and extent of the commercial activity.

B. Character Examples



C. Configuration Examples



D. Districts Allowed

1. Station District
2. Riverfront
3. West Sumner

6. Garden style

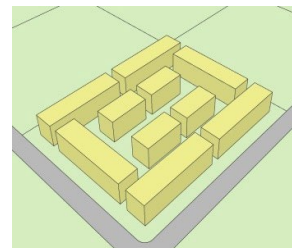
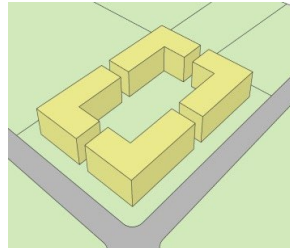
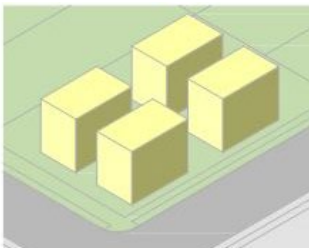
A. Description

A garden apartment complex is characterized by a cluster of low-rise buildings, usually no more than two or three stories high (although more modern complexes often rise to 4-5 floors), on a single piece of property. Access to units is usually obtained via an exposed stairwell. Open lawns, landscaping, and pathways are considered common areas for apartments of these sorts, and some communities have amenities such as pools, clubhouses, playgrounds, laundry rooms (sometimes multiple) and gyms on the property as well. Parking for these units is surface parking or detached garages.

B. Character Examples



C. Configuration Examples



D. Districts Allowed

1. None

7. Multi-Unit (5+ units)

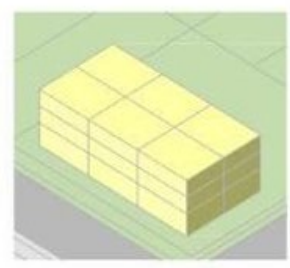
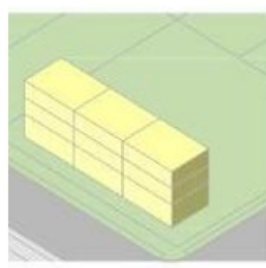
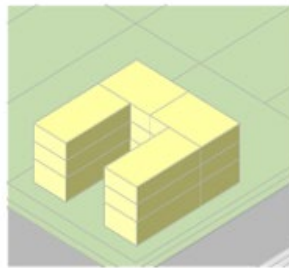
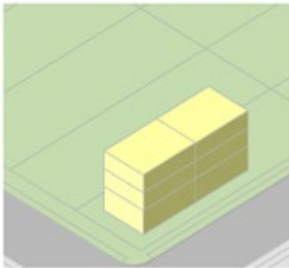
A. Description

A lot that allows five or more attached or detached dwelling units. Commercial activity is allowed but limited to home occupations live/work in certain zones subject to standards that limit the scale and extent of the commercial activity. Certain commercial activity is not allowed in the transition areas adjacent to LDR zoning (see SMC 18.29.050).

B. Character Examples



C. Configuration Examples



D. Districts Allowed

1. Station
2. Riverfront
3. West Sumner
4. Riverfront

8. Mixed Use

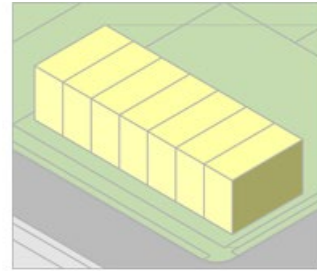
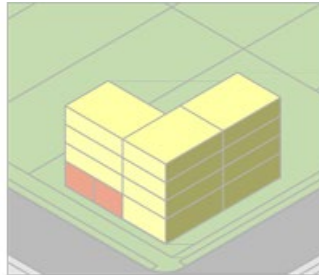
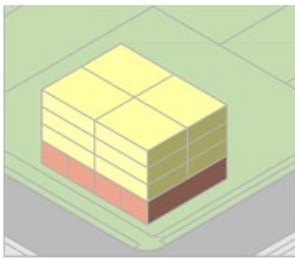
A. Description

A lot that allows a variety of permitted residential and commercial uses.

B. Character Examples



C. Configuration Examples



D. Zones Allowed

1. Station
2. Riverfront
3. West Sumner
4. Historic CBD

9. Commercial

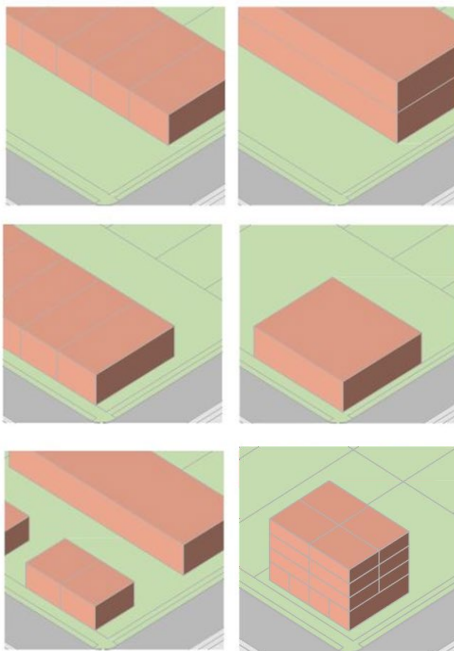
A. Description

A lot that allows a variety of permitted commercial uses. No residential uses are allowed. Commercial Activity is limited in the transition areas adjacent to LDR zoning.

B. Character Examples



C. Configuration Examples



D. Zones Allowed

1. West Sumner
2. Riverfront
3. Station
4. Historic CBD

10. IDEA

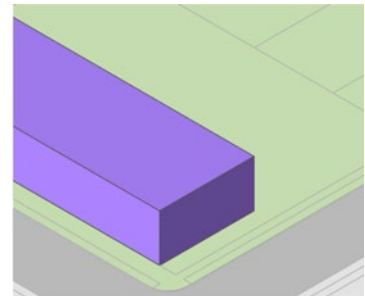
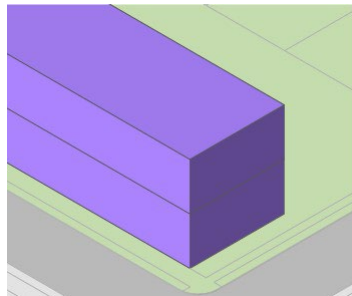
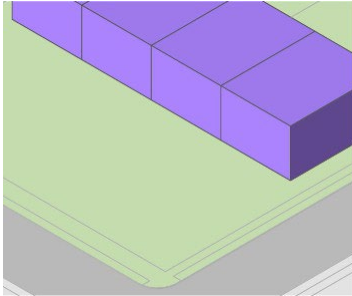
A. Description

A lot that allows a variety of small-scale manufacturing and artisan enterprises, see SMC 18.29.030. Some residential uses may be allowed such as artisan lofts.

B. Character Examples



C. Configuration Examples



D. Districts Allowed

1. West Sumner IDEA Overlay

3. 2. Civic lot type

1. Description

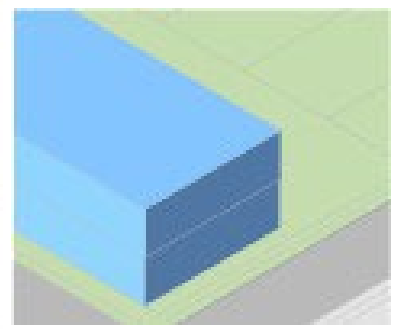
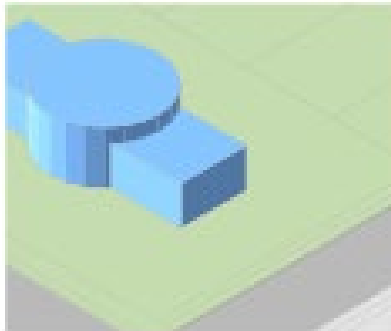
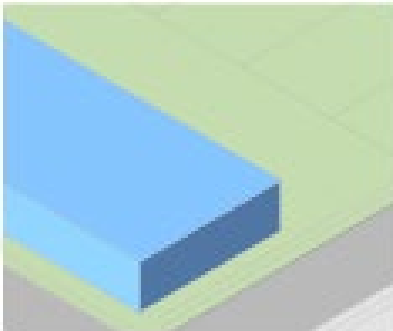
A. Description

A lot that allows a specific set of public and civic uses. No residential use is allowed.

B. Character Examples



C. Configuration Examples



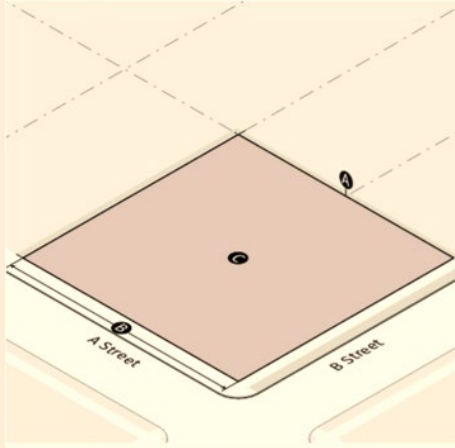
D. District Allowed

1. All Districts

2. Standards for Civic Lot Types

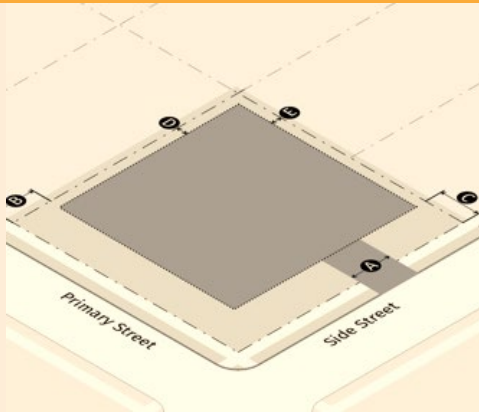
Civic Lot Standards applies in all Zones

Lot Parameters



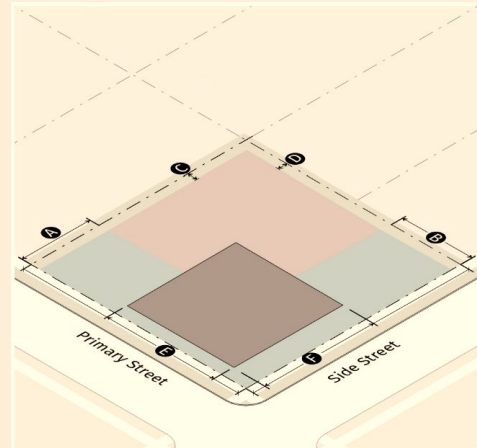
Lot	A. Area	B. Width
Civic	NA	NA
Specifications		
Building Coverage		100 %

Access and Parking Setbacks



A. Driveway width in setback	20' max
B. Primary Street	10 feet min
C. Side Street	10 feet min
D. Side common lot line	5' min
E. Rear: common lot line	5' min

Building Placement



Building Setbacks

A. Primary Street	0' min /30' max
B. Secondary Street	0' min /30' max
C. Side: common lot line	0' min
D. Rear: common lot line	0' min

Lot Frontage

E. Primary Street	50% min
F. Secondary Street	50% min

Building Height

Minimum Height	1 story
See Town Center Zoning map for max height in each District	

Public Realm Standards

Pedestrian and landscape/furniture zone	12 feet min
See DG chap. 1 to address transparency and blank walls	
Building elements subject to Design Review	

3. 3. Measurements and Expectations

1. Building Placement

A. Primary and Side Streets

1. Where only one street abuts a lot, that street is considered a primary street.
2. A multiple street frontage lot must designate at least one primary street. A lot may have more than one primary street. The Director of will determine which streets are primary streets based on the following:
 - a. An A Street is always considered a primary street.
 - b. The pedestrian orientation of the street, existing or proposed;
 - c. The established orientation of the block;
 - d. The street or streets abutting the longest face of the block;
 - e. The street or streets parallel to an alley within the block;
 - f. The street that the lot takes its address from; and
 - g. The street with the highest classification or highest traffic counts.

B. Primary and Secondary Streets

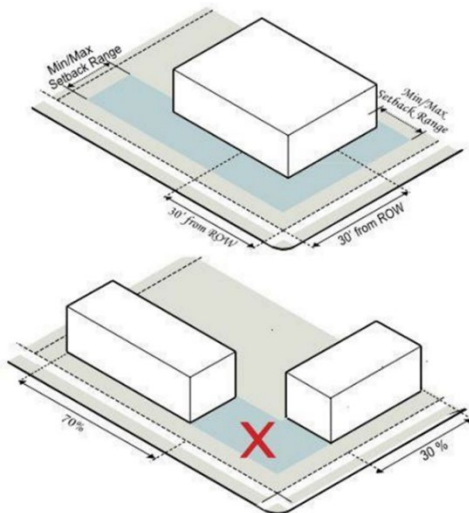
1. Streets have been mapped on Figure 3. Streets not mapped are considered B Streets.

C. Setback line

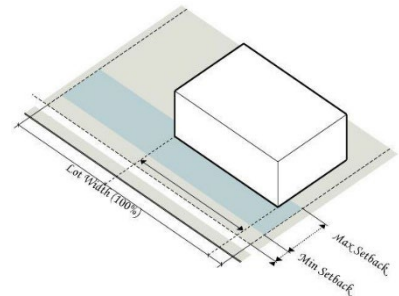
1. Building setback lines apply to both principal and accessory buildings or structures except where it explicitly states otherwise.
2. Any setback greater than 5 feet must provide an intentional public or pedestrian activity space between the building and the right-of-way, such as a park, plaza, outdoor dining, or landscaped area including shrubs and trees.

D. Lot Frontage

1. Lot frontage is the required percentage of lot width that must be occupied by building facade between the minimum and maximum setback range.



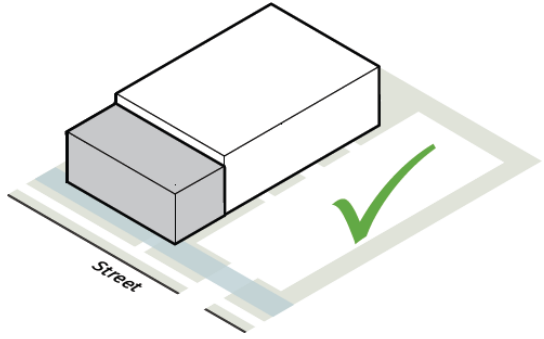
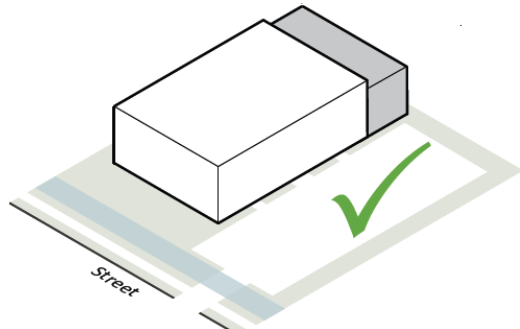
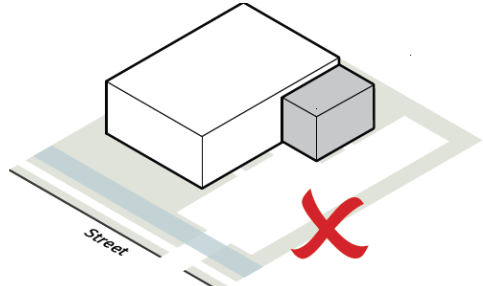
2. On a corner lot, a building facade must be placed within the minimum and maximum setback range for the first 30 feet along the street extending from the block corner, measured from the intersection of the two right-of-way lines.

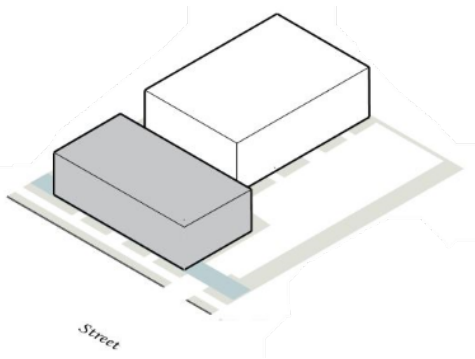
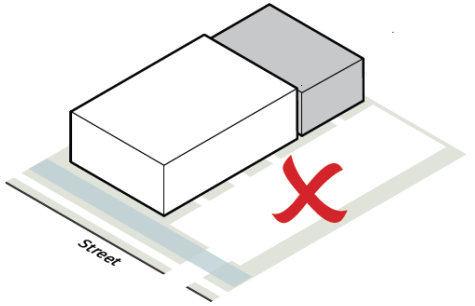
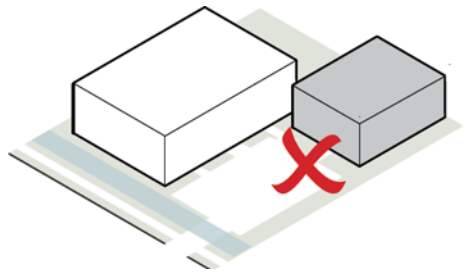


3. With the exception of parking spaces, all structures and uses allowed on the lot are allowed within the minimum and maximum setback range. Vehicle drive-thru lanes or facilities are not permitted within the minimum and maximum setback range.

E. Lot Frontage Requirement on Lots with Existing Buildings

When an existing building is being expanded or a new building is being constructed, and the building or lot doesn't meet the lot frontage requirement, the following provisions apply:

<p>1. Front Additions (Attached) Any addition to the front must be placed between the minimum and maximum setback range. The addition does not have to meet the minimum lot frontage percentage for the entire lot.</p>	
<p>2. Rear Additions (Attached) Rear additions are allowed because the addition does not increase the degree of the nonconformity, except for single-family residential.</p>	
<p>3. Side Additions (Attached) Side additions that are not constructed within the minimum and maximum setback range are not allowed because the extension increases the degree of nonconformity.</p>	

<p>4. Front: New Building (Detached) All new buildings must be placed between the minimum and maximum setback range until the percentage for the lot has been met. The new building does not have to meet the minimum lot frontage percentage for the entire lot.</p>	
<p>5. Rear: New Building (Detached) New buildings located outside of the minimum and maximum setback range are not allowed until the minimum lot frontage percentage for the lot has been met, except for ADUs for existing specified uses (see SMC 18.29).</p>	
<p>6. Side: New Building (Detached) New buildings located outside of the minimum and maximum setback range are not allowed until the minimum lot frontage percentage for the lot has been met, except for ADUs for existing specified uses (see SMC 18.29).</p>	

2. Access and Parking Location

A. Vehicular Access

1. New curb-cuts are not permitted on Primary Streets except where there is no alley or side street to provide access.

Vehicular access must be provided via an alley when the alley is determined to be open or accessible by the Director based on the following factors:

- a. Street type; and
- b. Field inspection to determine potential usability.

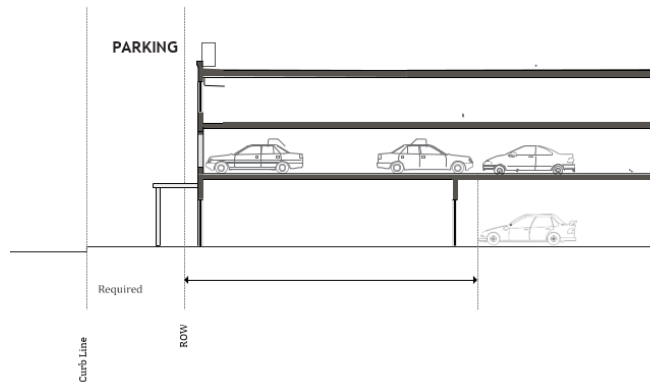
In the absence of alleys, the side street, must be used as the principal vehicular access.

B. Parking Setbacks

1. All parking spaces must be located behind the parking setback line (surface and structured). In almost all cases, this will prohibit parking between the building and the street and encourage landscaping along building edges. Parking below and covered by the ground may encroach into a required parking setback but cannot extend into a required easement or the right-of-way.
2. The parking setback applies to the ground story only.
3. Parking setbacks are measured from the right-of-way.
4. No on-site surface parking is allowed between buildings and the street.
5. For residential or mixed-use lots, no more than 15% of required dwelling unit parking may be surface parking.
6. Structured parking is required for all residential development.

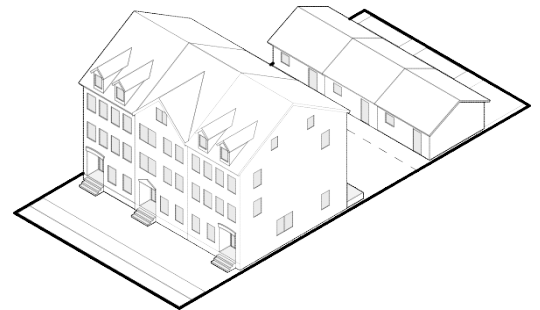
C. Parking Structures

1. Parking structures must meet all the requirements for a principal structure as specified in each zone.
2. Required parking setbacks apply only to the first floor of the parking structure.
3. The ground story of a structured parking garage facing any public street (not including an alley) may have active uses (such as, but not limited to, residential, commercial, office or civic space, where permitted) within the parking setback.
4. Upper stories of structured parking must be screened so that cars are not visible from ground level view from adjacent property or from adjacent public rights-of way (not including alleys) and other public property.



D. Structured Parking for Single-Unit Attached

1. The garage must be placed entirely to the rear of the unit and be rear-accessed. The garage can be attached or detached.
2. The garage doors must face the rear alley or easement.



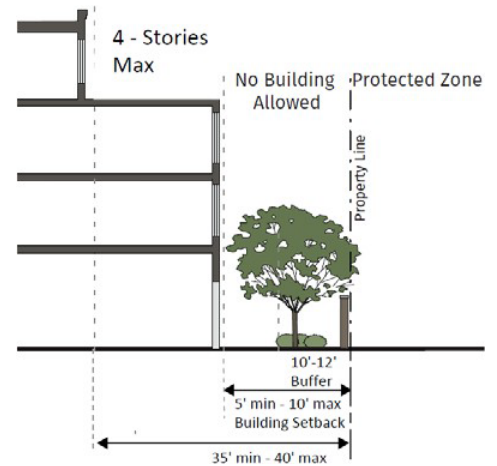
3. Height and Mass

A. Building Height

1. Building height is measured in stories and not in feet. The intent is to allow for flexibility with market conditions for story height (residential/commercial).
2. Average grade is determined by calculating the average of the highest and lowest elevation along finished grade measured along the front of the building parallel to the primary street setback.
3. An attic does not count as a story where 50% or more of the attic floor area has a clear height of less than 7.5 feet; measured from the finished floor to the finished ceiling.

B. Height within Transition Zones

1. The maximum height of any portion of a building or structure within the first 30 feet of a common lot line abutting a protected transition zone shall be 3 stories.
2. Rooftop patios and/or balconies within a transition zone shall include adequate privacy screening

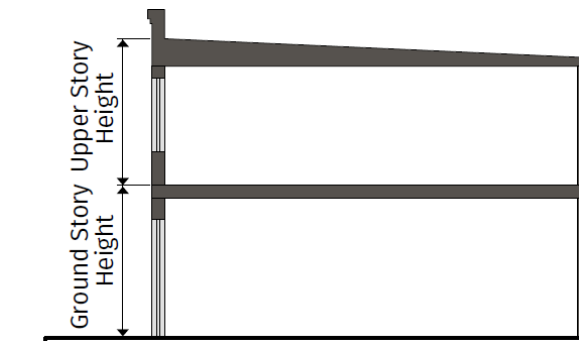


C. Minimum Height

1. The minimum height requirement applies to the first 30 feet of building depth where the building fronts a street
2. The minimum height for structures 100 feet from Arterial Streets is 4 stories

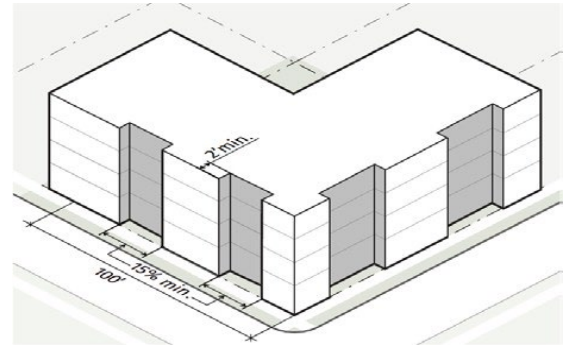
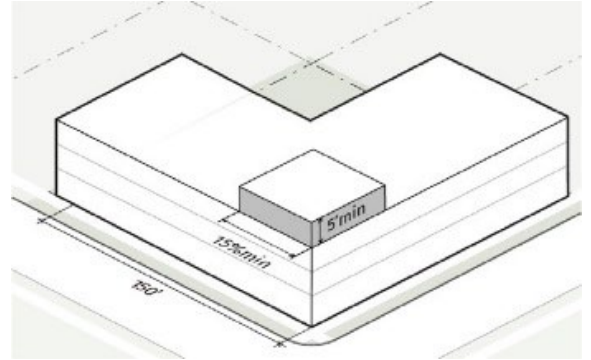
D. Story Height

Story height is the height of each story of a building and it is measured from the top of the finished floor to the top of the finished floor above. When there is no floor above, upper story height is measured from the top of the finished floor to the top of the wall plate above. Open structures, such as pergolas or shade devices, do not constitute a story and may be placed on building roofs. See the Building Code for any further definition of “story”.



E. Building Mass

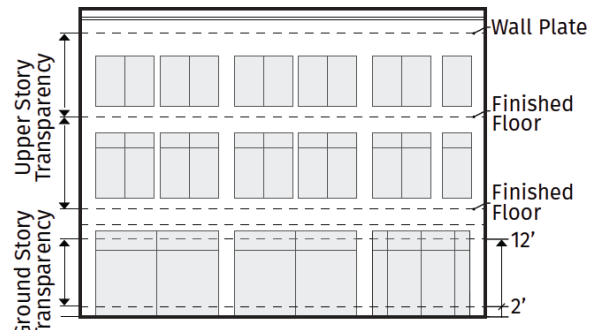
1. **Street-Facing Building Length**
Street-facing building length is the maximum length of a building or structure. For buildings 150 feet or more in length, at least 15% of the street-facing roof line must have a variation in height of at least 5 feet. On a corner lot, the variation in height must be located at the corner of the building that addresses both street fronts.
2. **Articulation in building height**
For buildings 150 feet or more in length, at least 15% of the street-facing roof line must have a variation in height of at least 5 feet. On a corner lot, the variation in height must be located at the corner of the building that addresses both street fronts.
3. **Articulation in building Façade**
For buildings 100 feet or more in length, at least 2 combination of the required variations in setback must total no less than 15% of the length of the building.
4. **Building articulation in multi-family or upper stories of mixed-use buildings with residential** refer to Multi-family Design Guidelines, chapter 3.7.



4. Public Realm

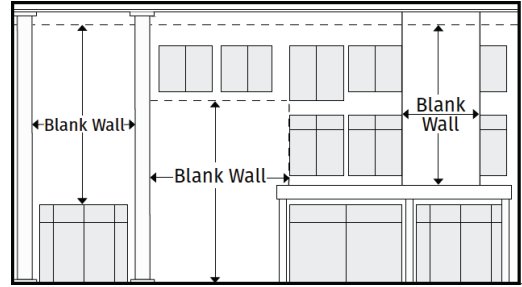
A. Transparency

1. Transparency is the minimum percentage of windows and doors that must cover a ground or upper story facade.
2. Transparency applies to street-facing -building facades only
3. Glass is considered transparent where it has a transparency higher than 75%.
4. Ground story transparency is measured between 2 and 12 feet above the abutting sidewalk 5. 6.
5. Upper story transparency is measured from top of the finished floor to the top of the finished floor above. When there is no floor above, upper story transparency is measured from the top of the finished floor to the top of the wall plate above.
6. To address transparency, see Design Guidelines, Chapter 1, Section 1.1.1 for all commercial development. 3-19 7. Ch. 3: Rules for All Zones To address transparency, see Design Guidelines Chapter 3 for residential portions of mixed-use or multi-family development.



B. Blank Wall Length

1. Blank wall length applies to ground and upper story primary and side street-facing facades.
2. Refer to Design Guidelines, Chapter 1, Section 1.3.2 to address Blank Walls in all new developments in the Town Center.



C. Ground Floor Elevation

1. Ground floor elevation is measured from top of the adjacent curb, or from the crown of the road where no curb exists, to the top of the finished ground floor.
2. Minimum ground floor elevation applies to the first 30 feet of the lot measured from the right-of-way.

D. Pedestrian Access

1. An entrance providing both ingress and egress, operable to residents at all times and customers during regular business hours, is required to meet the street-facing entrance requirements. Additional entrances off another street, pedestrian area or internal parking area are allowed.
2. The entrance spacing requirements must be met for each building, but are not applicable to adjacent or abutting buildings.
3. Entrance spacing is measured from the edge of door to the edge of the next door.
4. An angled entrance may be provided at either corner of a building along the street to meet the street-facing entrance requirements.

5. Building Elements

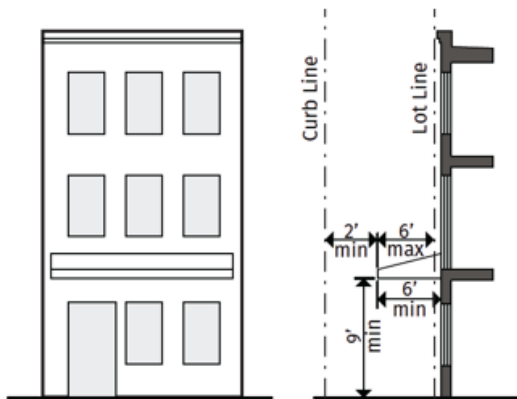
A. Intent

The following standards are intended to ensure that certain building elements when added to a building frontage are of sufficient size to be both usable and functional and be architecturally compatible with the frontage they are attached to.

B. Awning/Canopy

A wall-mounted, cantilevered structure providing shade and cover from the weather for a sidewalk.

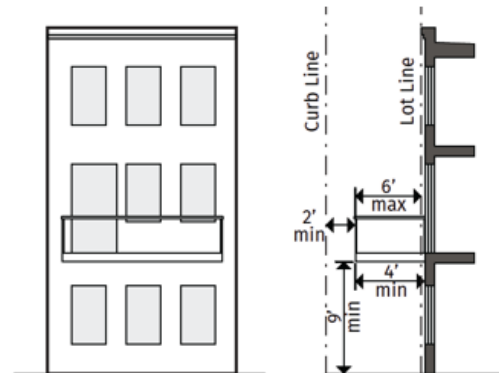
1. An awning/canopy must be a
2. minimum of 9 feet clear height above the sidewalk and must have a minimum depth of 6 feet.
3. An awning/canopy may extend into a primary or side street setback.
4. Subject to the issuance of a ROW Use Permit and hold harmless agreement, an awning/canopy may encroach up to 6 feet over the right-of-way but must be at least 2 feet inside the curb line or edge of pavement, whichever is greater.



C. Balcony

A platform projecting from the wall of an upper-story of a building with a railing along its outer edge, often with access from a door or window.

1. A balcony must be at least 4 feet deep.
2. A balcony must have a clear height above the sidewalk of at least 9 feet.
3. A balcony may be covered and screened, but cannot be fully enclosed.
4. An balcony may extend into a primary or side street setback.
5. Subject to the issuance of a ROW Use Permit and hold harmless agreement, a balcony may encroach up to 6 feet over the right-of-way but must be at least 2 feet inside the curb line or edge of pavement, whichever is greater.



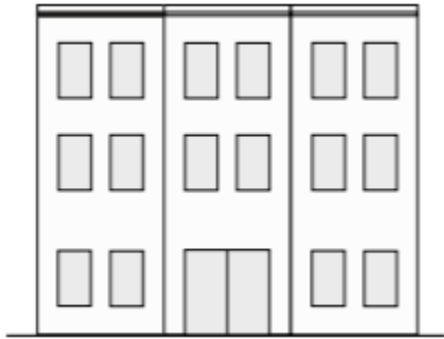
D. Forecourt

An open area at grade, or within 30 inches of grade, that serves as an open space, plaza or outdoor dining area.

1. A forecourt must be no more than one-third of the length of the building face, and in no case longer than 35 feet in width.
2. A maximum of one forecourt is permitted per lot, except for civic lot types.



1.3 of building width up to 35' max



Forecourt

E. Porch

A raised structure attached to a building, forming a covered entrance to a doorway.

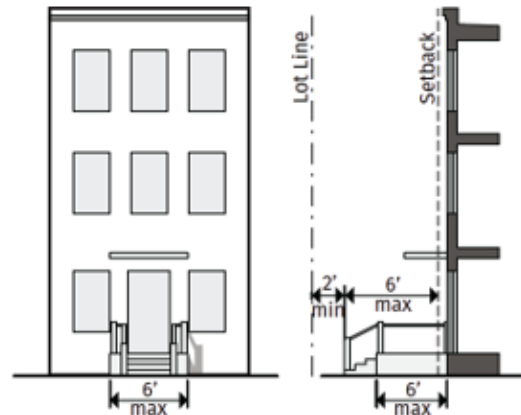
1. A porch must be at least 6 feet deep (not including the steps).
2. A porch must be roofed and may be screened, but cannot be fully enclosed.
3. A porch may extend up to 9 feet, including the steps, into a primary or side street setback, provided that such extension is at least 2 feet from the vertical plane of any lot line.
4. The porch and steps may not encroach into the right-of-way.



F. Stoop

A small raised platform that serves as an entrance to a building.

1. A stoop must be no more than 6 feet deep (not including the steps) and 6 feet wide.
2. A stoop may be covered but cannot be fully enclosed.
3. A stoop may extend up to 6 feet, including the steps, into a primary or side street setback, provided that such extension is at least 2 feet from the vertical plane of any lot line.
4. The stoop and steps may not encroach into the right-of-way.



Chapter 4. Station District (SD)

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2.	Lot Types	4-3
3.	Standards for Mixed-use/ Commercial Lot Types	4-4
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1.	Intent	4-8
2.	Lot Types	4-8
3.	Standards for Lot Types	4-9

4. 1. Station District – Summary



1. General Character

The Station District consists of medium- to high- intensity residential and transit-oriented areas. Multi- family housing is predominant. Commercial activity is limited to mixed use in multi-family residential buildings and hotels. Priority is given to pedestrians and bicyclists.

2. Built Environment

Buildings can be up to 4 and 5 stories in height and are typically built to the edge of the sidewalk (see height map). Parking must be to the rear of the building(s). Building coverage is high.

3. Streets and Blocks

Streets and rights-of-way are typically wide in order to accommodate the traffic associated with higher intensities. A rectilinear grid of streets frames a regular pattern of mid-sized, walkable blocks. Alleys are currently present. However will not be often present under the new vision and plan. Block shapes and sizes are relatively consistent. The typical block pattern includes detached and attached sidewalks, street trees, on-street and surface parking, and open space and landscaping. Residential and commercial access is typically via secondary streets and shared service drives to structured parking. Surface parking is severely limited.

4. Parking and Mobility Options

Parking is primarily provided on-street and in structured facilities. Limited surface parking is located to the rear of buildings. In street design, priority is given to pedestrians and bicyclists. There is access to multiple modes of transportation and frequent pedestrian activity.

4. 2. Mixed-Use/Commercial Lot Standards



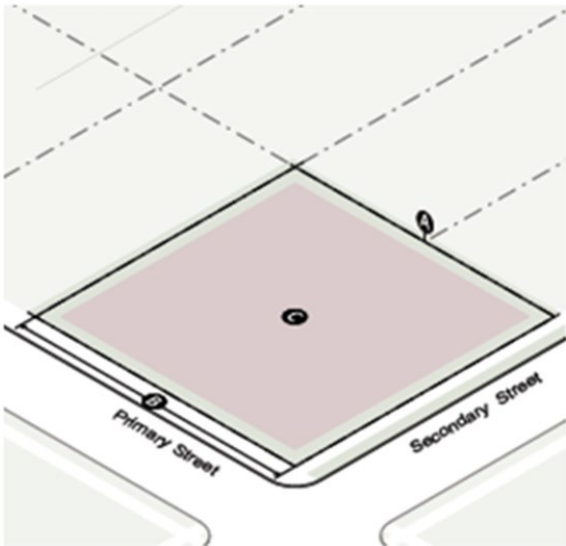
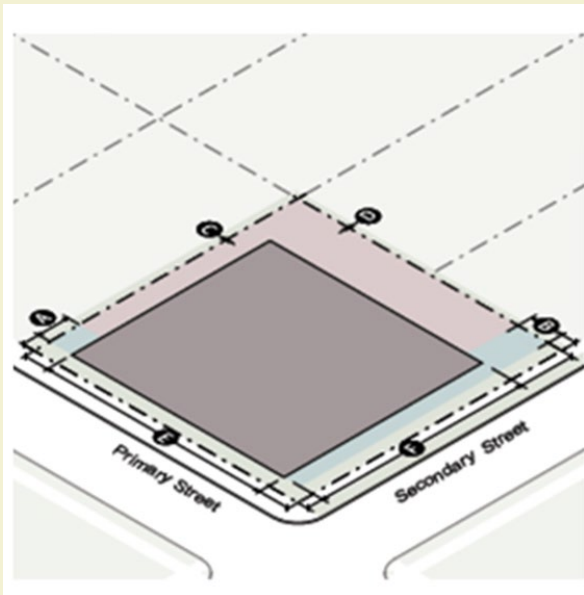
1. Intent

The Station District is intended to accommodate a variety of residential, retail, service and commercial building uses in a storefront environment. Uses are flexible but tall ground floors with large areas of transparent glazing are required to accommodate retail uses in the future.

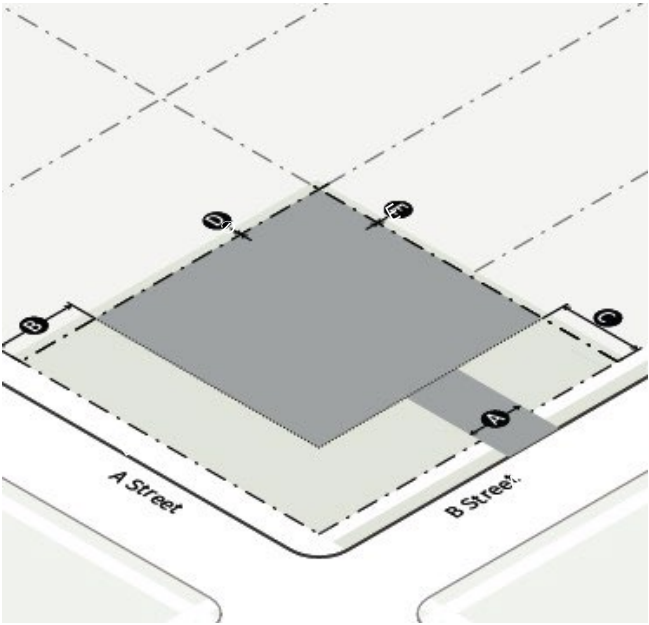
2. Lot Types

- Mixed Use
- Commercial

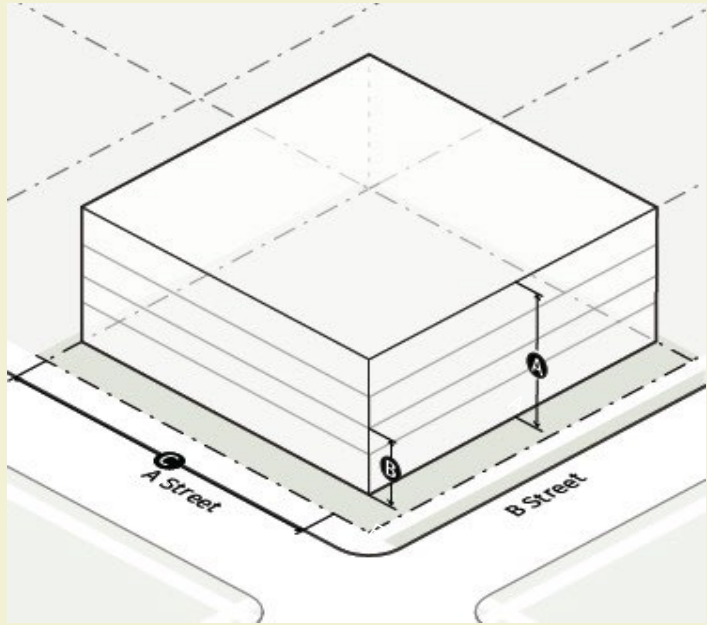
3. Standards for Mixed-use/ Commercial Lot Types

Lot Parameters		Building Placement																				
																						
<table><tr><th>Lot</th><th>C. Area</th><th>B. Width</th></tr><tr><td>Mixed Use</td><td>7,500 SF</td><td>50' min</td></tr><tr><td>Commercial</td><td>n/a</td><td>n/a</td></tr></table>		Lot	C. Area	B. Width	Mixed Use	7,500 SF	50' min	Commercial	n/a	n/a	<table><tr><th colspan="2">Building Setbacks</th></tr><tr><td>A. Primary Street</td><td>0' min /10' max</td></tr><tr><td>B. Secondary Street</td><td>5' min /10' max</td></tr><tr><td>C. Side: lot line</td><td>0' min</td></tr><tr><td>D. Rear: lot line</td><td>0' min</td></tr></table>		Building Setbacks		A. Primary Street	0' min /10' max	B. Secondary Street	5' min /10' max	C. Side: lot line	0' min	D. Rear: lot line	0' min
Lot	C. Area	B. Width																				
Mixed Use	7,500 SF	50' min																				
Commercial	n/a	n/a																				
Building Setbacks																						
A. Primary Street	0' min /10' max																					
B. Secondary Street	5' min /10' max																					
C. Side: lot line	0' min																					
D. Rear: lot line	0' min																					
<table><tr><th colspan="2">Specifications</th></tr><tr><td>Building Coverage</td><td>90% max</td></tr></table>		Specifications		Building Coverage	90% max	<table><tr><th colspan="2">Lot Frontage</th></tr><tr><td>E. Primary Street</td><td>80% min</td></tr><tr><td>F. Secondary Street</td><td>70% max</td></tr></table>		Lot Frontage		E. Primary Street	80% min	F. Secondary Street	70% max									
Specifications																						
Building Coverage	90% max																					
Lot Frontage																						
E. Primary Street	80% min																					
F. Secondary Street	70% max																					

Access/ Parking Location



Height and Mass



Access

New street curb-cuts allowed per lot Determined by the Director

A. Driveway width in setback 20' max

Parking Setbacks*

B. Primary Street 5' min

C. Secondary Street 5' min

D. Side: common lot line 5' min

E. Rear: common lot line 5' min

Building Height

A. Maximum height

Transition area 3 stories

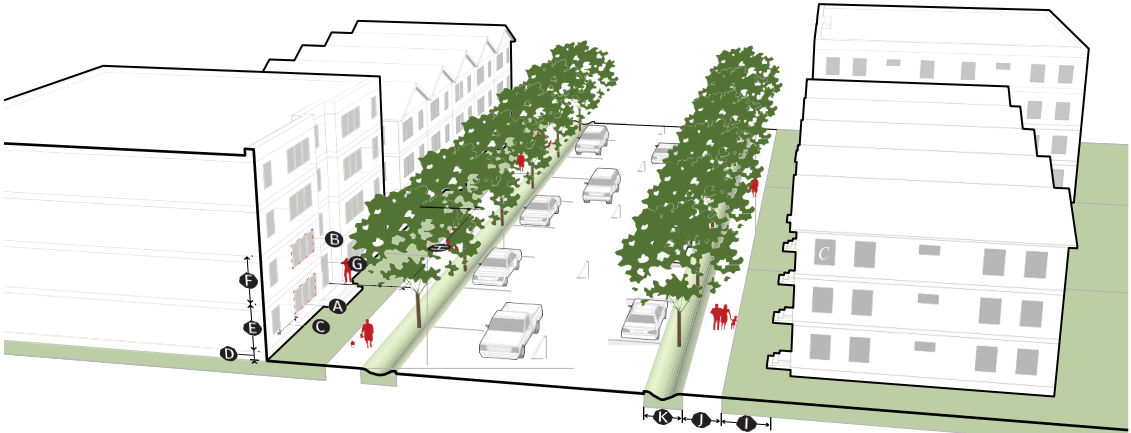
Remaining area 4-5 stories (see map)

B. Minimum 2 stories min

Building Mass

C. Street- facing building length 250' max

Public Realm



The public realm standards below apply to all streets, unless otherwise noted.

Transparency		Setbacks	
A. Ground story	30% min	I. Primary/side street	0’ min/10’ max
B. Upper story	25% min	Pedestrian Zone	
C. Blank wall length		J. Sidewalk	6’ min
Story Height		K. Street tree/Furniture zone	6’ min*
D. Residential Ground floor elevation	16" min/5' max	Tree spacing	30’ avg. on-center
E. Live/work ground floor elevation	0’ min/5’ max	*Where there is insufficient ROW to meet the minimum requirements, the Director may approve modifications	
Ground story, floor to floor	12’ min		
TABLE CONTINUED			

F. Upper story: floor to floor	9' min	Building Elements		Allowed	
		Awning/canopy		◆	
Entrance facing primary street	Required	Balcony		◆	
		Forecourt		◆	
		Gallery		(repealed)	
Entrance spacing along primary	75' max	Porch		n/a	
		Stoop		n/a	

4. 3. Residential Attached Lot Standards



1. Intent

The Station District is intended to accommodate a mix of two-family and lower intensity multi-family housing options in a pedestrian-friendly environment.

2. Lot Types

- Two Unit
- Single- Unit Attached
- Multi-Unit (up to 4 units)

3. Standards for Lot Types

Lot Paramters

A 3D perspective diagram of a rectangular lot. The lot is bounded by a Primary Street on the left, a Side Street on the right, and an Alley on the top. A building footprint is shown in the center, with setbacks labeled A (front), B (side), C (rear), and D (corner).

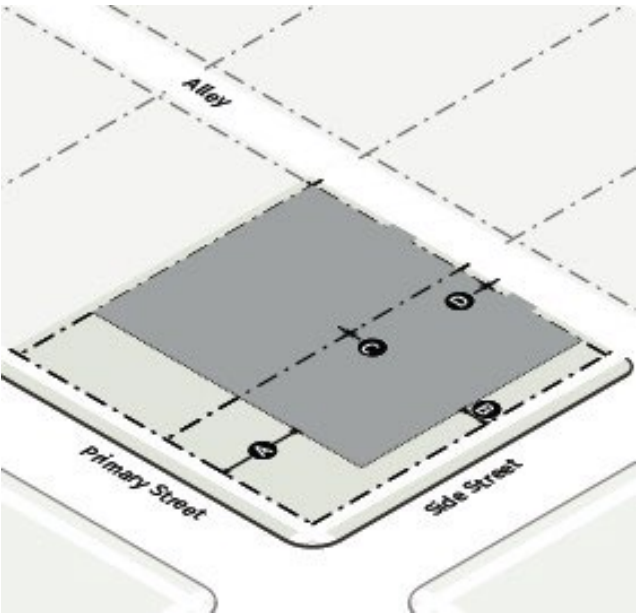
Building Placement

A 3D perspective diagram of a rectangular lot, similar to the one in the Lot Parameters section. It shows a Primary Street on the left, a Side Street on the right, and an Alley on the top. Multiple building footprints are shown, with setbacks labeled A (front), B (side), C (rear), D (corner), E (side), and F (corner).

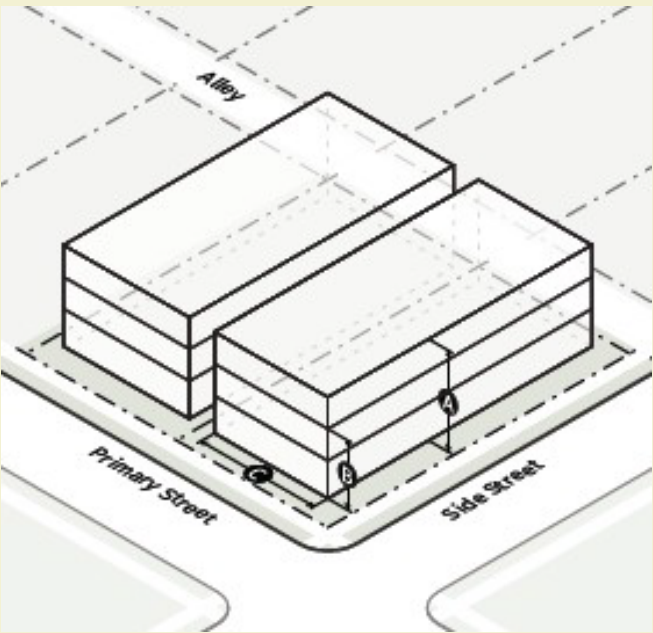
Lot	Area	Width
Two- Unit	6,000 SF min	50' min
Single- unit attached	1,700 SF min	12' min
Multi- unit (up to 4 units)	7,500 SF min	50' min
Specifications		
Building Coverage	90% max	

Building Setbacks	4-5 stories(see map)
Primary Street	5' min/10' max
Side Street	10' min/30' max
Side: single-unit attached, between abutting units	0' min
Side: Transition zone	15' min
Rear: lot line/alley	5' min
Rear: Transition zone	15' min
Lot Frontage	
Primary street	60% min
Side street	30% min

Access/ Parking Location



Height and Mass



Access

With alley, new street curb-cuts per lot	None
With no alley: new street curb-cuts per lot	Determined by Director
With no alley: driveway width in setback	15' max

Parking Setbacks

A. Primary street	10' min
B. Side street	10' min
C. Side common lot line	0' min
D. Rear: common lot line alley	5' min
Side Transition area	5' min

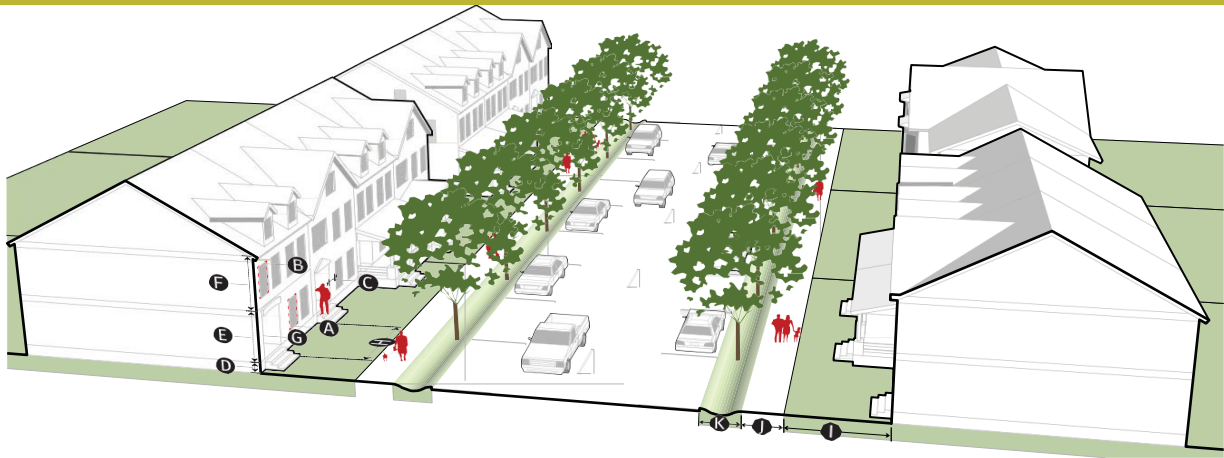
Building Height

A. Maximum height:	
Transition Zone (w/in 30' of LDR)	3 stories
All other areas	See Height Map
B. Minimum height:	2 stories min

Building Mass

C. Street-facing building length	n/a
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Public Realm



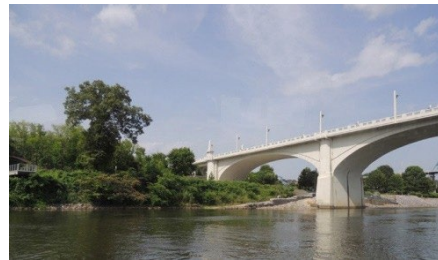
Transparency		Setbacks		Building Elements	Allowed
A. Ground story	30% min	I. Primary/side street	5' min/10' max	Awning	n/a
B. Upper story	25% min	Pedestrian Zone		Balcony	◆
C. Blank wall length	30' max	J. Sidewalk	6' min	Forecourt	◆
Story Height		K. Street tree/Furniture zone	6' min*	Gallery	(repealed)
D. Residential Ground floor elevation	16" min/5' max	Tree spacing	30' avg on-center	Porch	◆
E. Live/work ground floor elevation	0' min/5' max	*Where there is insufficient ROW to meet the minimum requirements, the Director may approve modifications		Stoop	◆
F. Ground story, floor to floor	12' min				

Chapter 5. Riverfront (RD)

5. 1. Riverfront District General Provisions.....	5-2
5. 2. Riverfront District Commercial Standards	5-3
5. 3. Riverfront Residential Attached	5-6



5. 1. Riverfront District Summary



1. General Character

The Riverfront District consists of medium- to high- intensity residential and tourist areas. Multi-family housing is predominant. Commercial activity is recommended to be mixed use in multi-family residential buildings and hotels. Priority is given to pedestrians and bicyclists on West Main Street.

2. Built Environment

The Riverfront District can be up to 4-6 stories in height and typically have setbacks along the riverside of the buildings, when over 3-stories.

Those developments along West Main may develop up to 4 stories, and along Fryar Avenue buildings may be erected up to 6-stories. Riverfront sites have shoreline setbacks, and entrances should be limited off the streets, shared access is preferred.

Limited mixed use in buildings is allowed to service the tourist and residential community and hotels are allowed. Parking is located to the rear of buildings, when feasible and must be structured parking. Building coverage is moderate to allow for open spaces, public access, and views to the river.

3. Streets and Blocks

Streets and rights-of-way are narrower in width on West Main Street, and Fryar is a wide thoroughfare. Streets that parallel the river frame development sites. Block shapes and sizes are often irregular due to the topography of many sites. The typical block pattern includes detached sidewalks, street trees, on-street parking and landscaping. Access is typically via a shared service drive to a surface parking lot or structured parking.

4. Parking and Mobility Options

Parking is primarily provided on-street and in structured facilities. Parking is located to the rear of buildings, when feasible. In street design, priority is given to pedestrians and bicyclists. There is access to multiple modes of transportation and frequent pedestrian activity.

5. 2. Riverfront Commercial Specific Standards



1. Intent

The Riverfront District is intended to accommodate a mix of multi-family and commercial activity in a manner that addresses and maintains views to the river.

2. Lot Types

- Multi-unit (5+ units)
- Mixed Use
- Commercial

3. Standards for Commercial/Mixed-Use Lot Types

Lot Parameters

Building Placement

A 3D perspective diagram of a rectangular lot. The lot is divided into a central pink area (labeled C) and a surrounding grey area. The lot is bordered by a 'Primary Street' on the left and a 'Side Street' on the right. Setback lines are indicated by dashed lines. Point A is on the top boundary, point B is on the bottom boundary, and point C is in the center of the pink area.

A 3D perspective diagram of a rectangular lot, similar to the first one but with more setbacks. It shows a central pink area (labeled C) and a surrounding grey area. The lot is bordered by a 'Primary Street' on the left and a 'Side Street' on the right. Setback lines are indicated by dashed lines. Points A, B, C, D, E, F, and G are marked at various setback locations: A and B on the top and bottom boundaries, C in the center, D on the rear boundary, E on the side boundary, F on the primary street frontage, and G on the side street frontage.

Lot	A C. Area	B
All Types	6,000 SF min	50' min

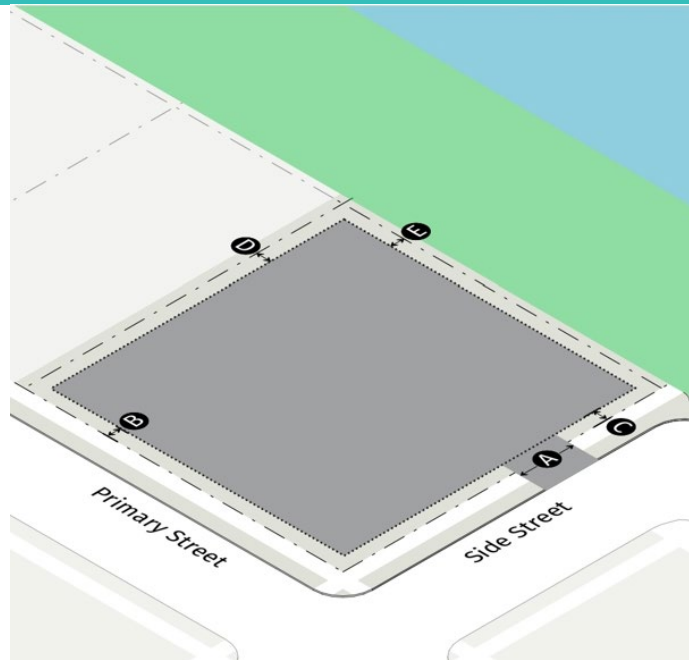
Specifications	
Building coverage	70% max

Building Setbacks	
A. Primary street	0' min/20' max
B. Side street	0' min/ 20' max
C. Side: lot line	5' min
D. Rear lot line/alley	0' min
E. River setback*	See SMP

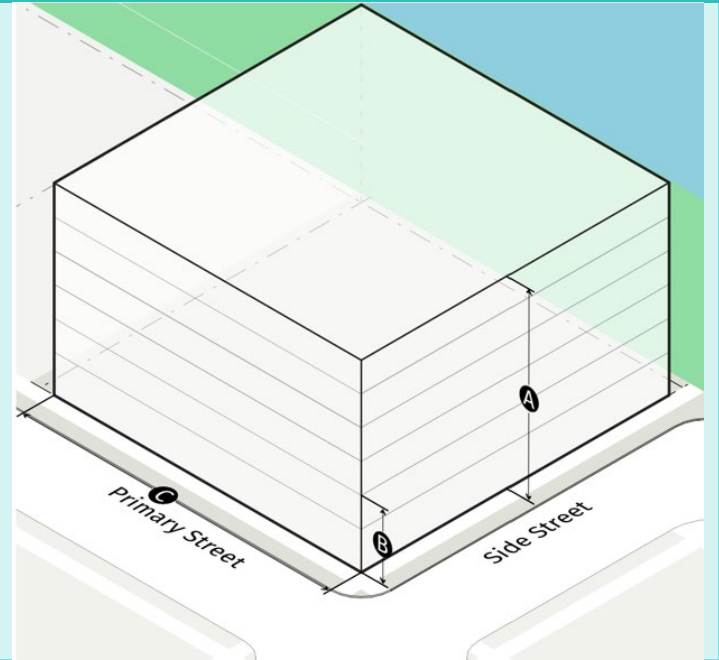
Lot Frontage	
F. Primary street	60 % min
G. Side street	30 % min

*Development withing 200 feet of the river is subject to additional requirements and restrictions in the Sumner Shoreline Master Program.

Access/ Parking Location



Height and Mass



Access

New street curb-cuts allowed per lot	Determined by Director
A. Driveway width in setback	20' max

Parking Setbacks

B. Primary Street	5'
C. Side street	5'
D. Side: common lot line	5' min
E. Rear: common lot line	5' min

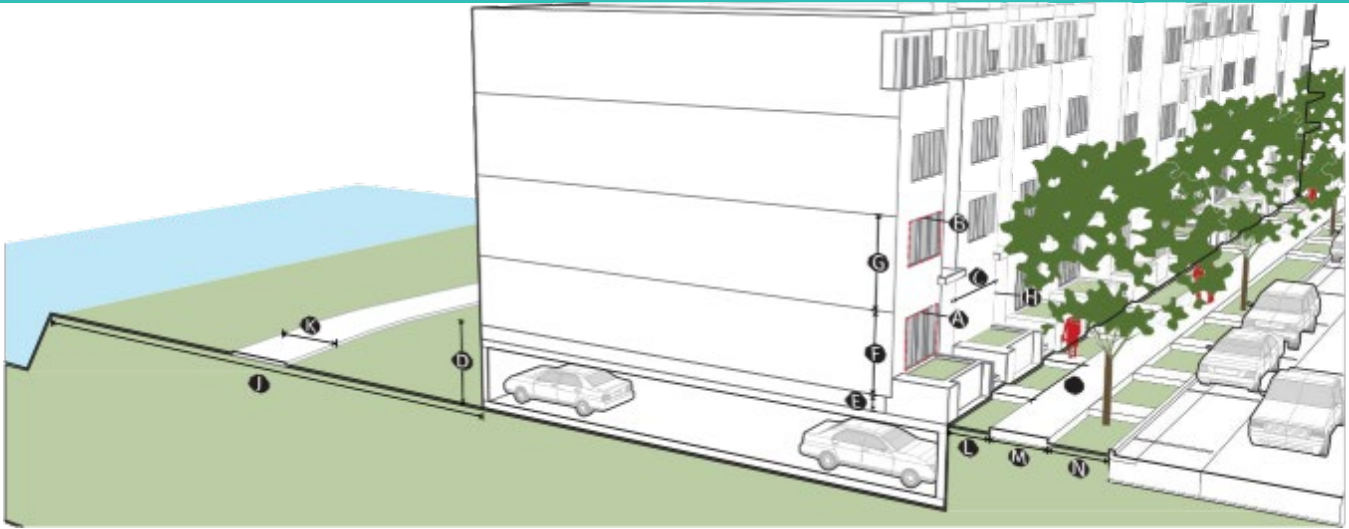
Building Height Maximum Height

A. West Main Street	5 stories
B. All other areas	6 stories
Minimum height	2 stories

Building Mass

C. Street- or river facing building length	250' max
D. West Main Street	50' max

Public Realm Standards



The public realm standards below apply to all streets, unless noted otherwise.

Transparency	Riverside	Streetside
Ground Story	30% min	30% min
Upper Story	25% min	25% min
Black Wall length	30' max	30' max

Story Height & Ground floor elevation	Riverside	Streetside
Residential	n/a	16" min/ 5' max
Nonresidential	n/a	0' min/ 2' max
Ground story: floor to floor	n/a	12' min
Upper story: floor to floor	9' min	9' min

Pedestrian Access		
Entrance facing street	Required	Required
Entrance spacing	n/a	50' max

Riverside	
J. River Setback	See SMP
K. Multi-purpose path	14 feet wide; 10' min paved*
*Refer to Parks & Trails Plan for Sumner Link trail location	

Streetside setback	
Primary/side street	0' min/ 15' max
Pedestrian Zone	
Sidewalk width	6' min
Street Tree/furniture zone depth*	6' min
Tree spacing	30' avg on center

*Director may approve modifications.

Building Elements	Allowed
Awning/canopy	◆
Balcony	◆
Forecourt	◆
Gallery	(repealed)
Porch	n/a
Stoop	n/a

5. 3. Residential Attached Lot Standards



1. Intent

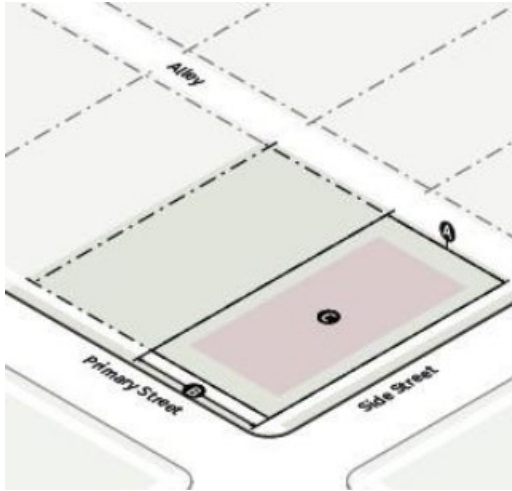
The Riverfront District is intended to accommodate a mix of, two-family and lower intensity multi-family housing options in a pedestrian-friendly environment.

2. Lot Types

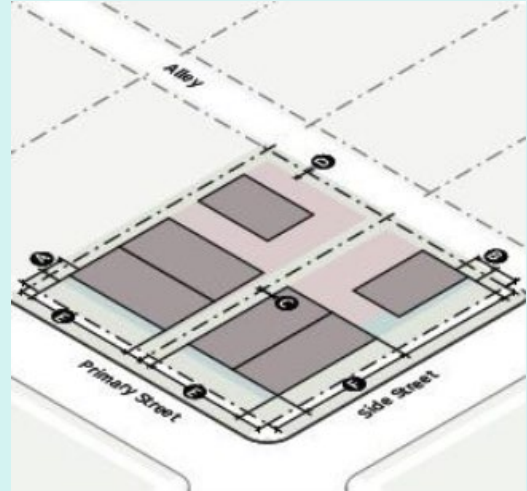
- Two-unit
- Single-unit attached
- Multi-unit (up to 4 units)

3. Standards for Residential Lot Types

Lot Parameters



Building Placement



Lot	A. Area	B. Width
Two- unit	6,000 SF min	50' min
Single- unit attached	1,700 SF min	12' min
Multi- unit (up to 4 units)	7,500 SF min	50' min

Specifications

Building coverage	90% max
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**Development withing 200 feet of the river is subject to additional requirements and restrictions in the Sumner Shoreline Master Program*

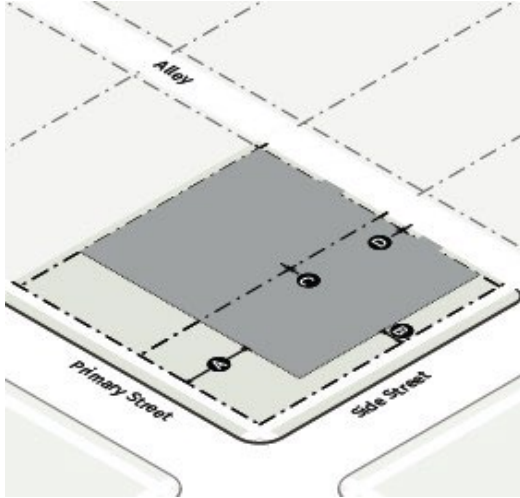
Building Setbacks

Primary/Side street	10' min/ 30' max
Side: lot line/ alley	5' min
Side: lot line (one side only)*	0' min
Side; single-unit attached, between abutting units	0' min
Rear: lot line/alley	5' min
River setback *	See SMP

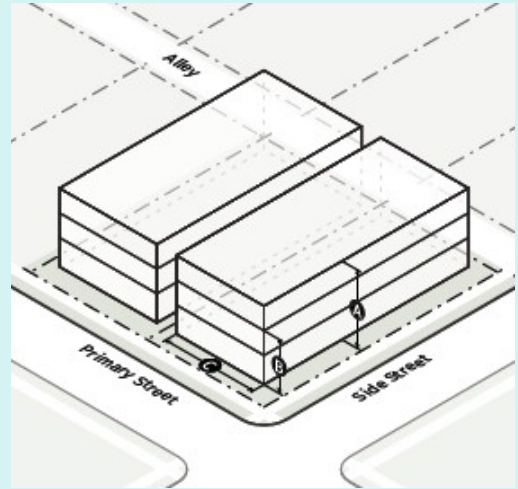
Lot Frontage

F. Primary street	60 % min
G. Side street	30 % min

Access/ Parking Location



Height and Mass



Access

With Alley, new street cuts per lot	No
With No alley: new street cuts per lot	Determined by Director
With No alley: Driveway width in setback	15' max

Parking Setbacks

A. Primary Street	15' min
B. Side Street	10' min
C. Side lot line	0' min
D. Rear lot line	0' min

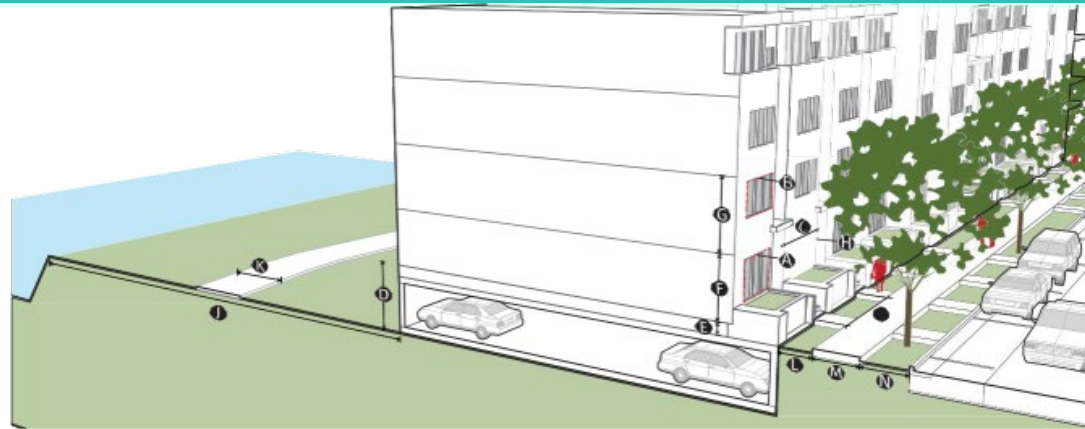
Building Height

A. Maximum	
Transition zone	3 stories
All other areas	See zoning map
B. Minimum	2 stories

Building Mass

C. Street facing Building length	n/a
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Public Realms



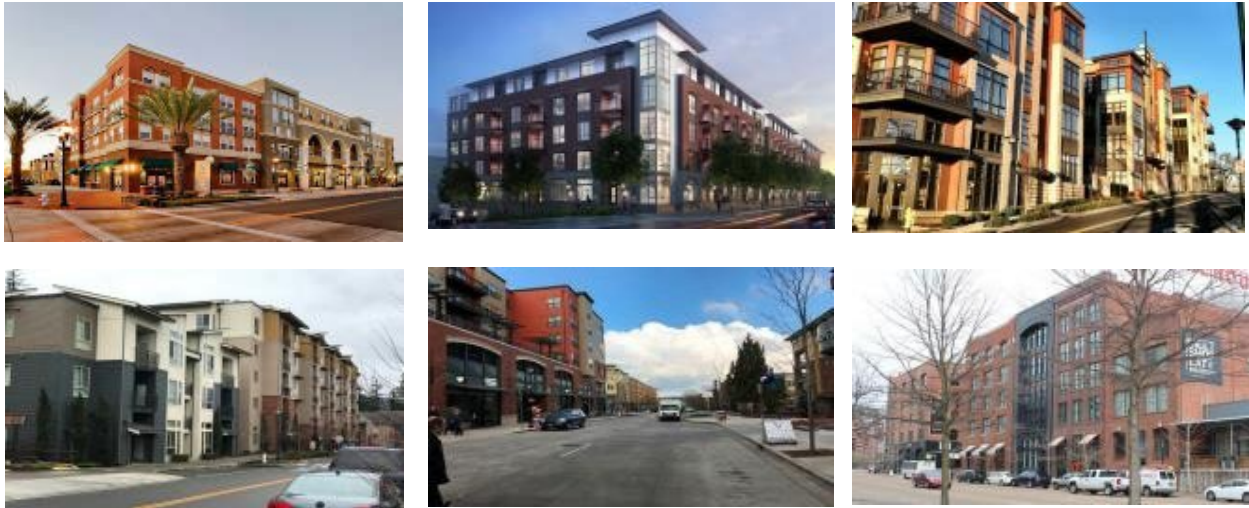
Transparency	
A. Ground Story	n/a
B. Upper story	n/a
C. Blank wall length	30' max
Story Height	
E. Ground floor elevation	16" min/ 5'
F. Ground story: floor to floor	10'
Upper story: floor to floor	9'
Pedestrian Access	
G. Entrance facing primary	required
H. Entrance spacing along primary street	50'

Setback Riverside	See SMP		
K. Multi-purpose path	14 feet wide; 10' min paved*		
*refer to Parks & Trail Plan for Sumner Links Trail location			
Streetside		Building Elements	Allowed
L. Primary/ side street	5' min/ 10' max	Awning/canopy	n/a
M. Clear pedestrian zone	6' min	Balcony	◆
N. Street Tree/ Furniture Zone*	6' min	Forecourt	◆
Treespacing	30' avg. on center	Gallery	(repealed)
*Where there is insufficient ROW to meet the minimum requirements, the Director may approve modifications.		Porch	◆
		Stoop	◆

Chapter 6. West Sumner District (WSD)

6. 1.	West Sumner District- Summary.....	6-2
6.2	Residential Attached Specific Standards	6-3
6.3	Multi-Unit (5+)/ Mixed-use Standards	6-7
6.4	Commercial Specific Standards.....	6-12
6.5	IDEA Lot type Specific Standards (New Section)	6-16

6. 1. West Sumner District-Summary



1. General Character

The West Sumner District consists of medium- high intensity residential and commercial areas. Multi-family housing is predominant with opportunities for small commercial, retail, and restaurants. Commercial activity is concentrated along major roadways and at activity nodes and is encouraged to be vertical mixed use. Equal emphasis is given to pedestrians, bicyclists and automobiles.

2. Built Environment

Residential zones can be up to 6 stories in height and typically have smaller front setbacks than other Districts. Parking is required to be provided to the rear and side of buildings and within a structure. Building coverage is relatively high.

3. Streets and Blocks

A rectilinear grid of streets frames a regular pattern of mid- sized, walkable blocks. Alleys are often present. Block shapes and sizes are relatively consistent. The typical block pattern includes detached and attached sidewalks, street trees, street and surface parking, and open space and landscaping. Residential and commercial access is typically via an alley or shared service drive to a surface parking lot.

4. Parking and Mobility

Parking is primarily provided on-street, in structures in more intense mixed-use zones. Surface parking is extremely limited and located to the rear and side of buildings. In street design, equal emphasis is given to pedestrians, bicyclists and automobiles. There is access to multiple modes of transportation and frequent pedestrian activity.

6. 2. Residential Attached Specific Standards



1. Intent

The West Sumner District is intended to accommodate a mix of two-family and lower intensity multi-family housing options in a pedestrian-friendly environment.

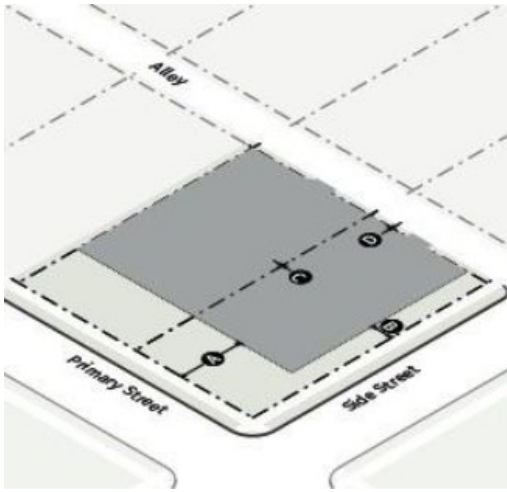
2. Lot Types

- Two-unit
- Single-attached
- Multi-unit (up to 4 units)

3. Standards for Residential Lot Types

Lot Parameters			Building Placement	
Lot	A. Area	B. Width	Building Setbacks	
Two-unit	6,000 SF min	50' min	Primary street	0' min/10' max
Single-unit attached	1,700 SF min	20' min	Side street	10' min/ 30' max
Multi-unit (up to 4 units)	7,500 SF min	50' min	Side: common lot line/alley	5' min
			Side: common lot line (one side only)*	0' min
			Side: single-unit attached	0' min
			Side: protected zone	15' min
			Rear: common lot line/alley	5' min
			Rear: protected zone	15' min
Specifications			Lot Frontage	
Building coverage	90% max		Primary street	60 % min
			Side street	30 % min

Access / Parking Location



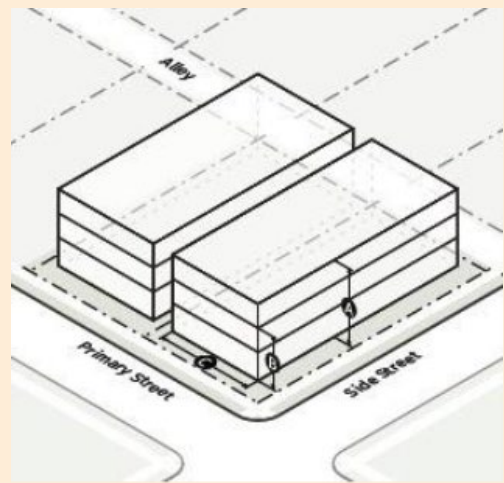
Parking Setbacks*

A. Primary Street	10' min
B. Side street	10' min
D. Rear: common lot line/ alley	5' min

Access

With alley: new street curb-cuts per lot	none
With no alley: new street curb-cuts per lot	Determined by Director
With no alley: driveway width in setback	10' max

Height and Mass



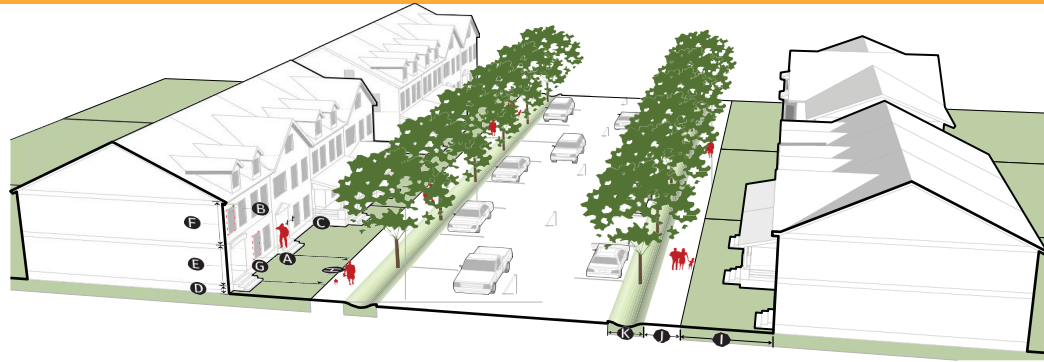
Building Height

Maximum height	
Transition Zone	3 stories
All other areas	See Height Map
B. Minimum height	2 stories min

Building Mass

C. Street-facing building length	n/a
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Public Realm



Transparency

Ground Story	n/a
Upper story	n/a
Blank wall length	30' max

Story Height

Ground floor elevation	16" min/ 5'
Ground story: floor to floor	10'
Upper story: floor to floor	9'

Pedestrian Access

Entrance facing primary	required
Entrance spacing along primary street	50'

Setback

I. Primary/ side street	5' min/ 10' max
Clear Pedestrian Zone	
J. Sidewalk*	6' min

Street Tree/ Furniture Zone*

K. Street landscaping depth	6' min
Treespacing	30' avg. on center

Building Elements

Allowed

Awning/canopy	n/a
Balcony	◆
Forecourt	◆
Gallery	repealed
Porch	◆
Stoop	◆

*Where there is insufficient ROW to meet the minimum requirements, the Director may approve modifications.

6. 3. Multi-Unit (5+)/ Mixed-use Standards



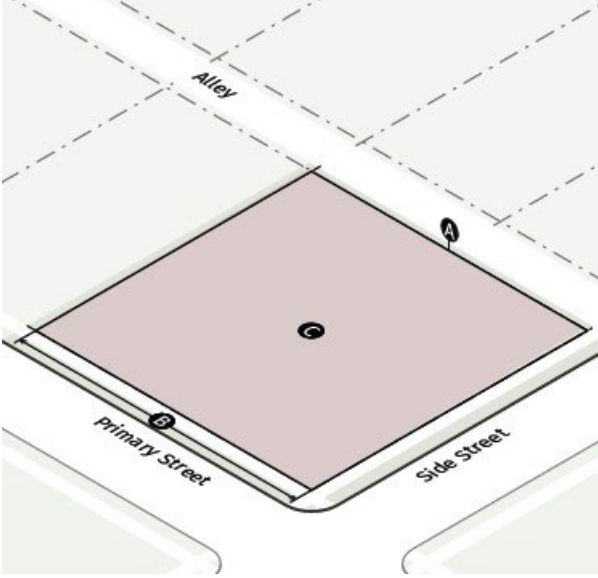
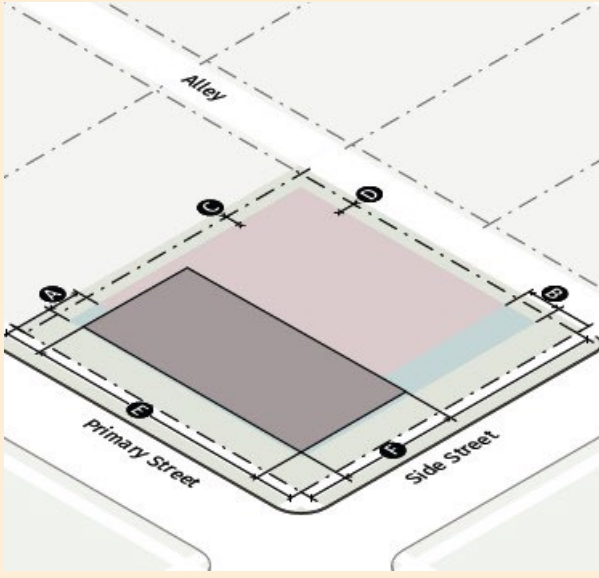
1. Intent

The West Sumner District is intended to accommodate a mix of higher intensity multi-family housing options in a pedestrian-friendly environment. Live/work is allowed subject to standards that limit the extent of the use.

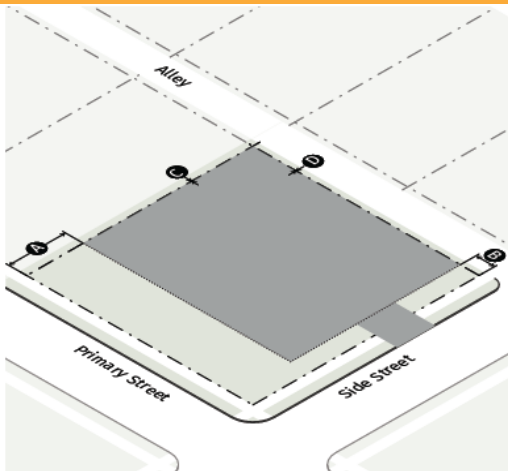
2. Lot Types

- Multi-unit (5+)
- Mixed Use (Com/Res)

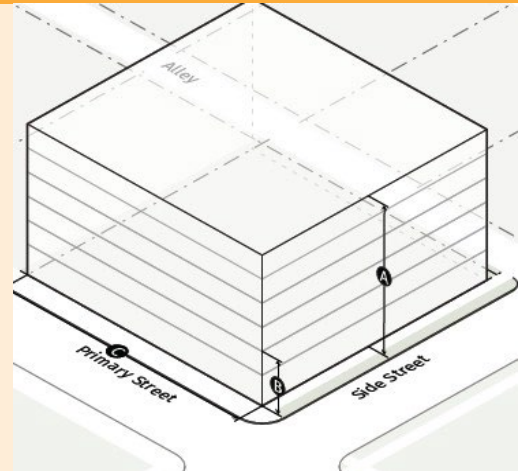
3. Standards for Multi-Unit/Mixed-Use Lot Types

Lot Parameters			Building Placement	
				
Lot	Area	Width	Building Setbacks	
All lot types	7,500 SF min	75' min	A. Primary street	0' min/10' max
Specifications			B. Side street	0' min/15' max
			C. Side: lot line/alley	0' min
Building coverage		100% max	D. Rear: lot line/alley	5' min
			Lot Frontage	
			E. Primary street	80 % min
			F. Side street	40% min

Access/ Parking Location



Height and Mass



Access

With alley: new street curb-cuts per lot	none
With no alley: new street curb-cuts per lot	Determined by Director
With no alley: driveway width in setback	10' max
Rear: common lot line/ alley	0' min

Parking Setbacks*

A. Primary Street	10' min
B. Side street	10' min
C. Side: lot line/ alley	0' min
D. Rear: lot line/ alley	0' min

Building Height

A. Maximum height	6 stories
B. Minimum height	3 stories
Minimum height: Primary Street	4 stories

Building Mass

C. Street-facing building length	300' max
D. Side: common lot line	20' max

Public Realm



The public realm standards below apply to all streets, unless noted otherwise.

Transparency	Residential Ground Floor	Nonresidential Ground Floor
A. Ground Story	30% min	50 % min
B. Upper story	25% min	25% min
C. Blank wall length	30' max	30' max

Story Height	Residential Ground Floor	Nonresidential Ground Floor
D. Ground floor elevation	16" min/ 5' max	0' min/ 2' max
E. Ground story: floor to floor	12' 2 in	14' min
F. Upper story: floor to floor	9' min	9' min

Setback

I. Primary/ side street 0' min/ 15' max

Clear pedestrian zone *

J. Sidewalk 6' min

Street Tree/ Furniture Zone*

K. Street tree/
furniture zone depth 6' min

Treespacing 30' avg. on center

*Where there is insufficient ROW to meet the minimum requirements, the Director may approve a modification

Table Continues		
Pedestrian Access	Residential Ground Floor	Nonresidential Ground Floor
G. Entrance facing primary	required	required
H. Entrance spacing along primary street	75' max	100' max
Building Elements Allowed	Residential Ground Floor	Nonresidential Ground Floor
Awning/canopy	◆	◆
Balcony	◆	◆
Forecourt	◆	◆
Gallery	repealed	repealed
Porch	◆	n/a
Stoop	◆	n/a

6. 4. Commercial Specific Standards



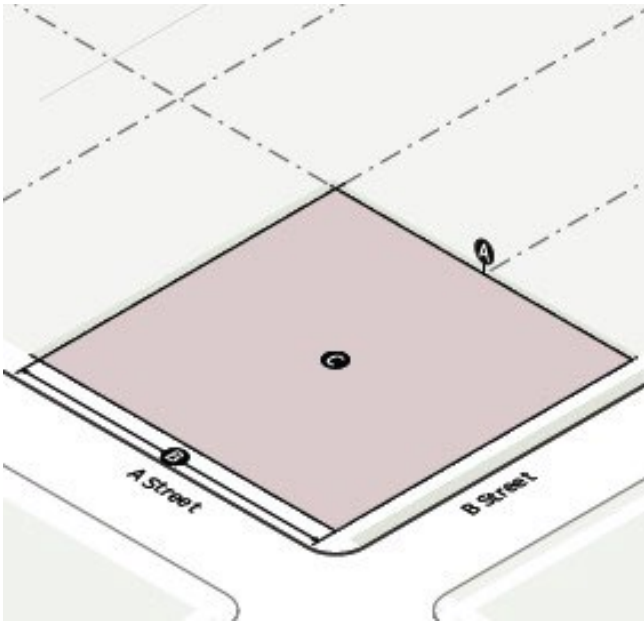
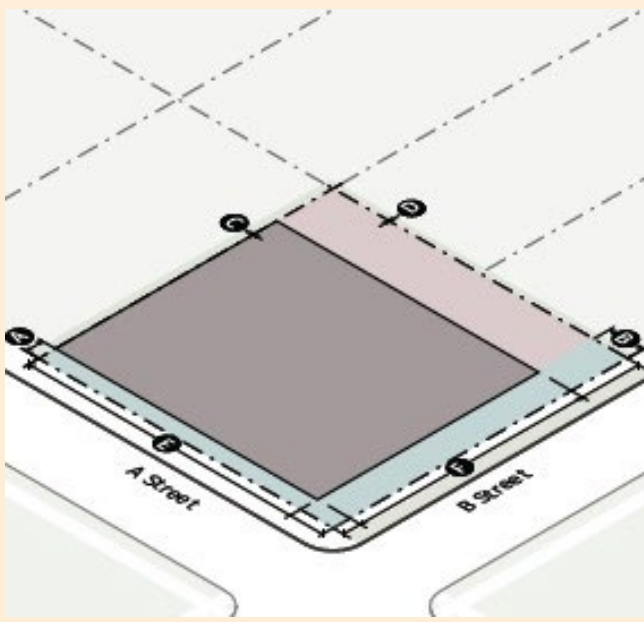
1. Intent

The West Sumner District is intended to accommodate a variety of residential, retail, service and commercial building forms and uses in a pedestrian-friendly environment. Although buildings are allowed to be exclusively residential or non-residential in use, the vertical mixing of uses is strongly encouraged, especially in Activity Nodes, where the market shows demand.

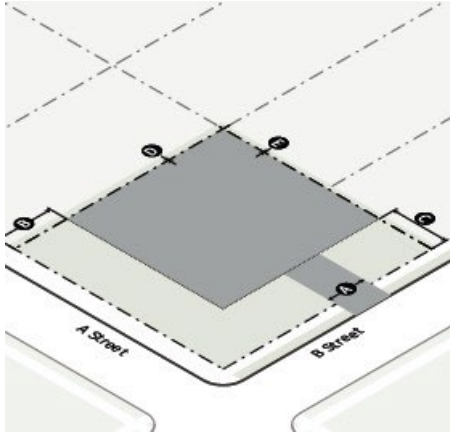
2. Lot Types

- Commercial

3. Standards for Commercial Lot Types

Lot Parameters			Building Placement	
				
Lot	Area	Width	Building Setbacks	
Commercial	N/A	N/A	A. Primary street	0' min/ 15' max
			B. Side street	0' min/ 15' max
			C. Side: common lot line	0' min
			Side: alley	5' min
			D. Rear: common lot line	0' min
			Rear: alley	5' min
Specifications				
Building coverage	90 % max			
Lot Frontage				
Primary street	80 % min			
Side street	40 % min			

Access/ Parking Location



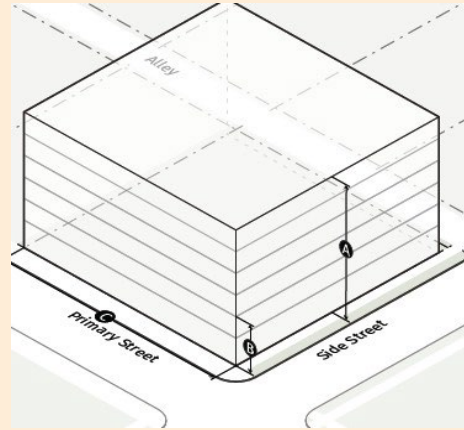
Access

A street: new curb- cuts allowed per lot	none
B street: distance between curb- cuts on same lot	100' max
Driveway width in setback	20' max

Parking Setbacks*

A. Primary Street	5' min
B. <u>Side</u> street	5' min
C. Side: common lot line/ alley	0' min
D. Rear: common lot line/ alley	0' min

Height and Mass



Building Height

A. Maximum height	6 stories
B. Minimum height	2 stories

Building Mass

C. Street-facing building length	300' max
----------------------------------	----------

Public Realm



The public realm standards below apply to all streets, unless noted otherwise

Transparency

A. Ground Story	50 % min
B. Upper story	25% min
C. Blank wall length	30' max

Story Height

D. Ground floor elevation	0' min/ 2' max
E. Ground story: floor to floor	14' min
F. Upper story: floor to floor	9' min

Pedestrian Access

G. Entrance facing primary	required
H. Entrance spacing along primary street	100' max

Setback

I. Primary/ side street	0' min/ 15' max
-------------------------	-----------------

Sidewalk*

J. Clear pedestrian zone	6' min
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Street Tree/ Furniture Zone*

K. Street tree/ furniture zone depth	6' min
Treespacing	30' avg. on center

Building Elements

Awning/canopy	◆
Balcony	◆
Forecourt	◆
Gallery	repealed
Porch	n/a
Stoop	n/a

*Where there is insufficient ROW to meet the minimum requirements, the Director of the Land Development Office may approve modifications.

6. 5. IDEA Lot type Specific Standards



1. Intent

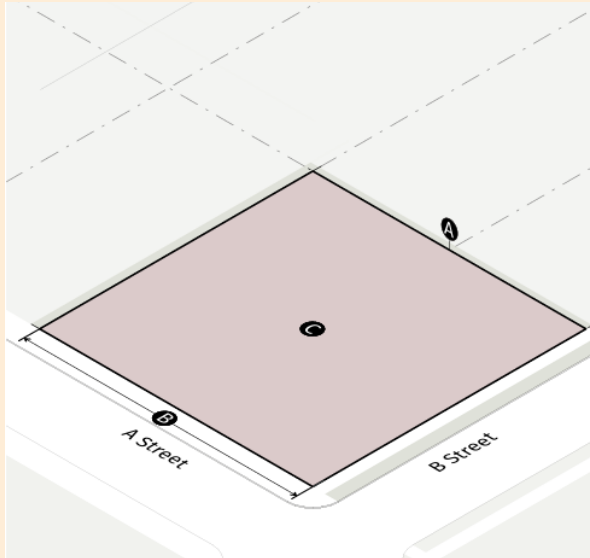
The IDEA Overlay is intended to support small-scale manufacturing uses and maker activity. Lot type options in this zone include a variety of mixed commercial, live-work and small-scale manufacturing building forms and uses in a pedestrian-friendly environment. Although buildings are allowed to be exclusively nonresidential in use, the vertical mixing of uses is strongly encouraged,

2. Lot Types

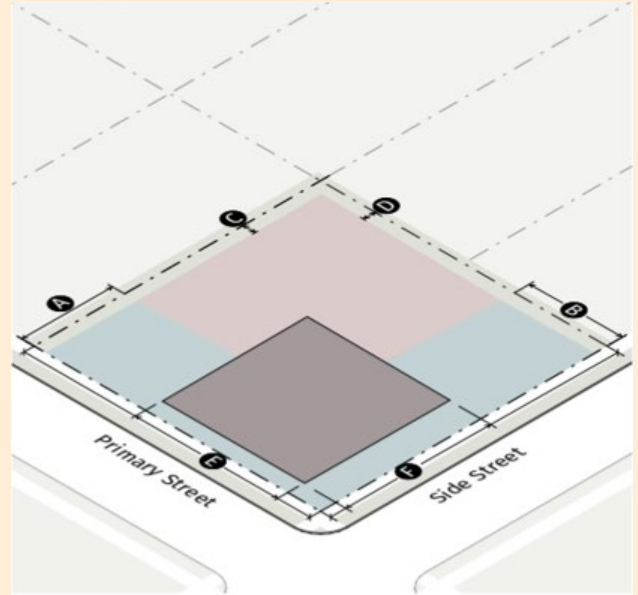
- IDEA (Small-scale Manufacturing)
- Artisan Lofts/Mixed Use

3. Standards for IDEA Lot Types

Lot Parameters



Building Placement



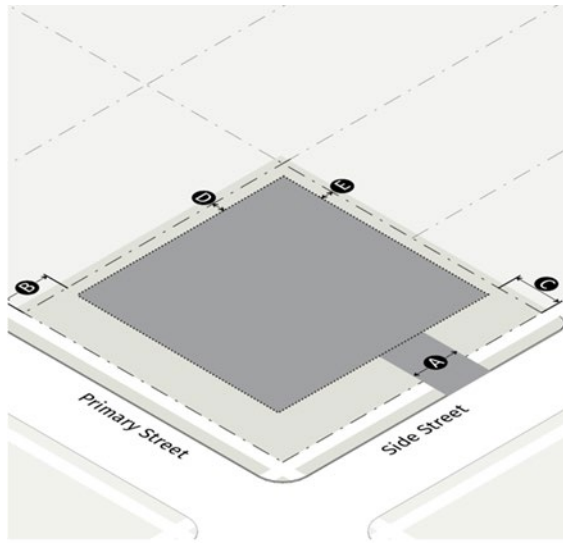
Lot	Area	Width
IDEA*	7,500 SF	50' min
*Residential units allowed provided, that residential uses are limited to 50 percent of total floor area		

Specifications	
Building coverage	90% max

Building Setbacks Mixed Use	
A. Primary street	0' min/ 10' max
B. Secondary street	5' min/ 20' max
C. Side: lot line	5' min
D. Rear: lot line	5' min

Lot Frontage	
E. Primary street	60 % min
F. Secondary Street	50 % min

Access & Parking Location



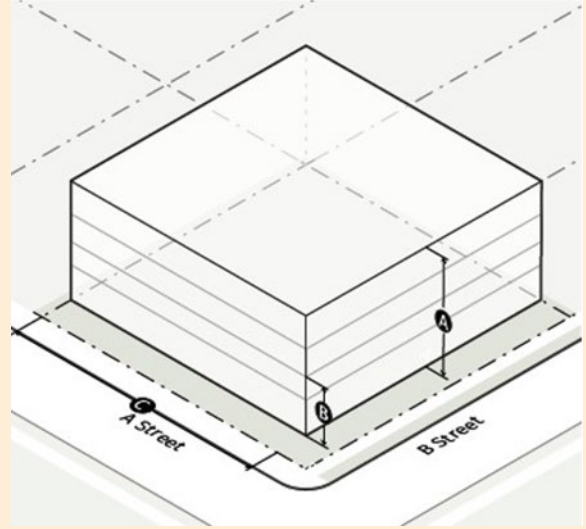
Access

New curb- cuts allowed per lot	Determined by the Director
Distance between curb- cuts on same lot	100' max
A. Driveway width in setback	20' max
Location of loading bays	Side or rear only

Parking Setbacks*

B. Street Primary	10' min
C. Street Secondary	10' min
D. Side: common lot line/	0' min
E. Rear: common lot line/	0' min

IDEA Height and Mass



Building Height

Maximum	6 stories
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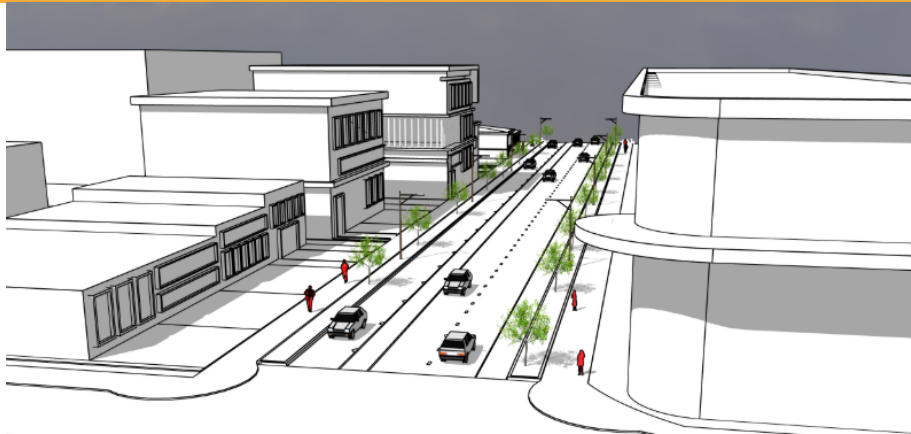
Minimum Height

Zehnder Street	1 story min
Remaining area	2 stories min
Development within 100 feet of Arterial Street	4 stories min

Building Mass

C. Street facing building length	200' max
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Public Realm



The public realm standards below apply to Streets in the IDEA overlay

Transparency

Ground Story	30% min
Storefront roll-up doors on Primary street	50% min
Upper story	25% min
Blank wall length	30' max

Building Elements Allowed	Residential ground floor	Nonresidential ground floor
Awning/canopy	◆	◆
Balcony	◆	◆
Forecourt	◆	◆
Porch	◆	n/a
Stoop	n/a	n/a

Story Height	Residential Ground Floor	Non-residential Ground Floor
Ground floor elevation	16" min/ 5' max	0' min/ 2' max
Ground story, floor to floor	12' min	14' min
F. Upper story: floor to floor	9' min	9' min
Pedestrian Access	Residential Ground Floor	Non-residential Ground Floor
G. Entrance Facing primary	required	required
H. Entrance spacing along primary street	75' max	100' max

Setback

I. Primary/ side street	0' min/ 15' max
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Clear pedestrian zone

J. sidewalk	6' min
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Street Tree/ Furniture Zone*

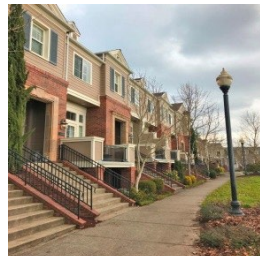
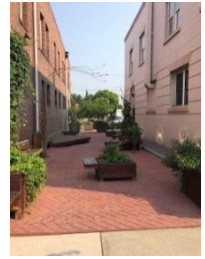
K. Street tree/ furniture zone depth	4' min
Tree Spacing *	30' avg on-center

*Where there is insufficient ROW to meet the minimum requirements, the Director may approve modifications.

Chapter 7. Historic Commercial Business District (HCBD)

7. 1. HCBD Summary	7-2
7. 2. Commercial/Mixed-Use Specific Standards	7-3

7. 1. HCBD Summary



1. General Character

The Historic Central Business District (CBD) consists of medium- intensity residential, retail, commercial, and restaurants. Retail shops and restaurants are predominant. Commercial activity is typically mixed use in multi-family residential over retail/restaurants or commercial. Focus is given to historic character of the Main Street design and form. Priority is given to pedestrians and bicyclists.

2. Built Environment

Buildings can be up to 4 stories in height and are typically built to the edge of the sidewalk (see height map). Parking must be to the rear of the building(s) or screened from primary streets. Building coverage is high.

3. Streets and Blocks

Streets and rights-of-way are typically narrower in width. A rectilinear grid of streets frames a regular pattern of mid-sized, walkable blocks. Alleys are often present. Block shapes and sizes are relatively consistent. The typical block pattern includes detached and attached sidewalks, street trees, on- street and surface parking, and open space and landscaping. Residential and commercial access is typically via secondary streets and shared service drives to structured parking. Surface parking is severely limited.

4. Parking and Mobility Options

Parking is primarily provided on-street and in structured or public surface facilities. Parking is located to the rear of buildings. In street design, priority is given to pedestrians and bicyclists. There is access to multiple modes of transportation and frequent pedestrian activity Historic District.

7. 2. Commercial/Mixed-Use Specific Standards



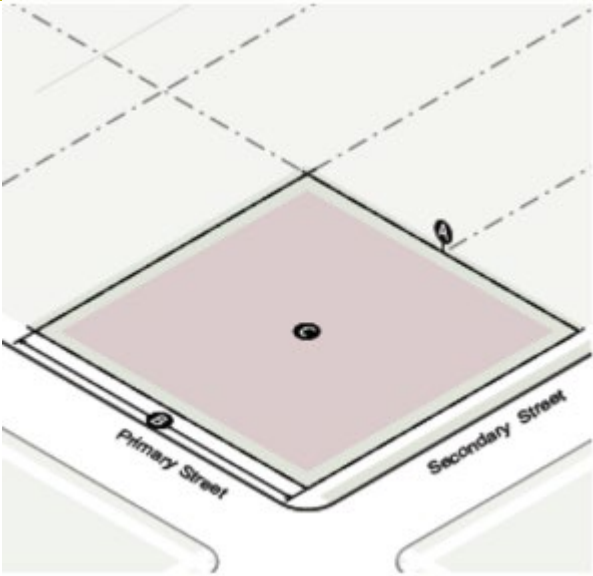
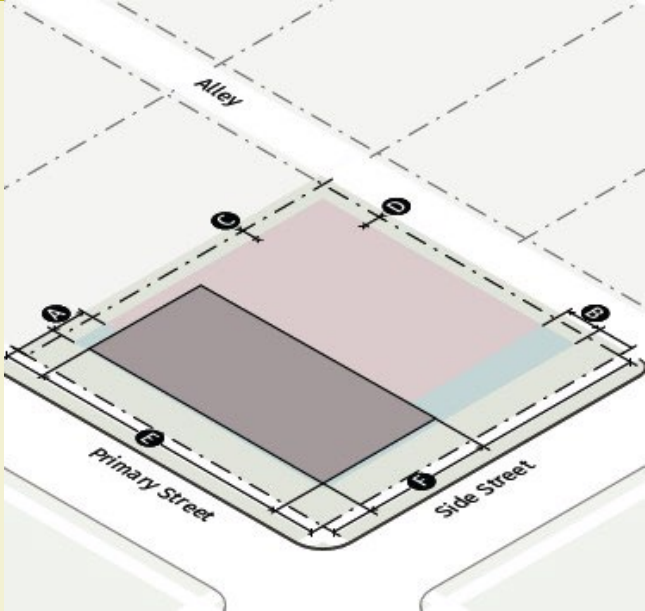
1. Intent

The Historic CBD is intended to accommodate a variety of residential, retail, service and commercial building uses in a storefront environment. Uses are flexible but tall ground floors with large areas of transparent glazing are required to accommodate retail and restaurant uses. Focus is given to historic character of the Main Street and design and form in the district follow these guidelines.

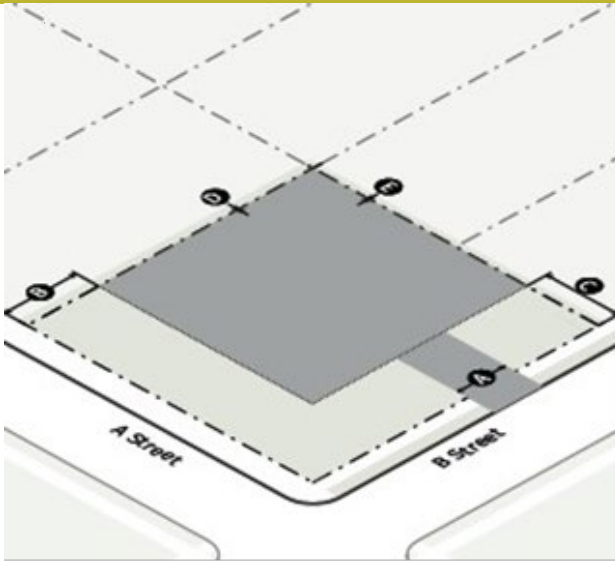
2. Lot Types

- Commercial/Mixed-Use

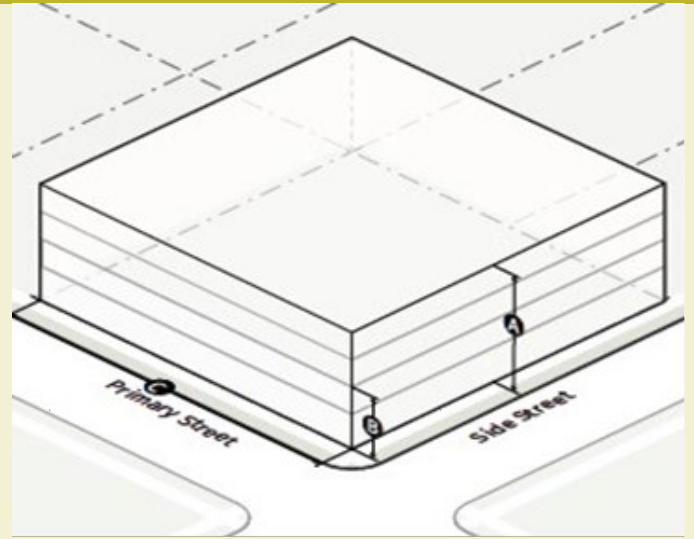
3. Standards for Commercial/Mixed-Use Lot Types

Lot Parameters		Building Placement	
			
Lot	A. C. Area	B. Width	
All lot types	5,000 SF min	50' min	
Specifications			
C. Building coverage	100% max		
Building Setbacks			
A. Primary street	0' min/ 10' max		
B. Secondary street	0' min/10' max		
C. Side: common lot line	0' min		
D. Rear/ alley	5' min		
Lot Frontage			
E. Primary street	80 % min		
F. Side Street	40 % min		

Access



Height and Mass



Access

A street: new curb- cuts allowed per lot	Determined by the Director
Driveway width in setback	20' max

Parking Setbacks*

A. Primary Street	10' min
B. Secondary Street	10' min
Main Street	See DG 1.1.3(a)
Side: common lot line/	5' min
Rear: common lot line/	5' min

Building Height

A. Maximum height	
Within 30' of Main Street	3 stories
Remaining area	3 stories
B. Minimum height	1 story

Building Mass 0' min

C. Street-facing building length	60' max
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Public Realm



The public realm standards below apply to all streets, unless noted otherwise

Transparency

A. Ground Story	75% min
B. Upper story	25% min
C. Blank wall length	30' max

Story Height

Residential Ground Floor

D. Ground floor elevation	0' min/ 2' max
E. Ground story, floor to floor	13' min
F. Upper story: floor to floor	9' min
Entrance facing primary	required

Building Elements Allowed

Awning/canopy	◆
Balcony	◆
Forecourt	◆
Gallery	repealed
Porch	n/a
Stoop	n/a

Setback

I. Primary/ side street	0' min/ 10' max
-------------------------	-----------------

Clear Pedestrian Zone

J. sidewalk	6' min
Street Tree/ Furniture Zone*	
K. Street tree/ furniture zone depth	6' min
Tree spacing**	30' feet avg on center

*Where there is insufficient ROW to meet the minimum requirements, the Director ~~of~~ may approve modifications. Not allowed on street corners.

Chapter 8. Landscape Screening and Site Lighting

- 8. 1. Applicability.....8-2
- 8. 2. Structural Screening Requirements.8-3
- 8. 3. Walls and Fences8-5
- 8. 4. Site Lighting Applicability.....8-5
- 8. 5. Site Lighting Standards8-7



8. 1. Applicability

1. New Construction

- A. Any new building or site improvement must comply with the landscape and screening requirements in this chapter, and new planting installations will be subject to SMC 18.41.
- B. Refer to the Sumner design and development guidelines for Town Center (chapter 1) for all commercial and mixed-use development. Where landscaping is required for multi-family development, refer to chapter 3 of the Design and Development guidelines.
- C. When an existing building is increased in gross floor area or the site area is improved by more than 25% cumulatively, the entire site must conform to the landscape requirements of this chapter.

2. Maintenance and Repair

- A. An existing building, use or site may be repaired, maintained or modernized without conforming to the landscape requirements of this Division, provided there is no increase in gross floor area or improved site area.
- B. When an existing building is increased in gross floor area or the site area is improved by up to 25% cumulatively, the landscape requirements of this Division apply to the additional area only.

3. Change in Use

A change in use does not trigger the application of the landscape requirements of this Division except when there is a specific standard requiring landscape for the new use, such as a required landscape buffer.

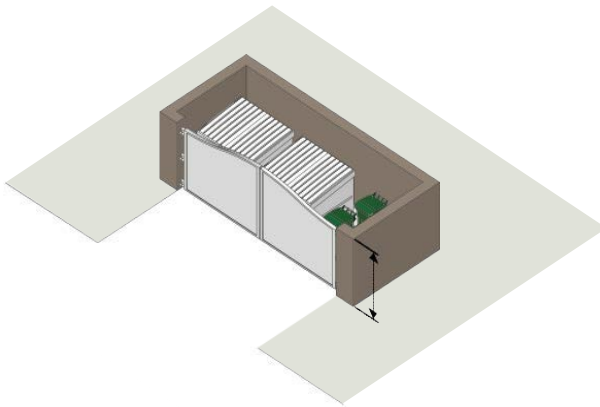
4. Parking Lot Landscaping Applicability

Parking lot landscaping is required for all on-site surface vehicle parking areas. Multiple plated lots contained on a single site plan, under one owner or development entity, and any separate parking areas connected with drive aisles are considered a single parking area. Refer to Design and Development Guidelines chapter 1 for location and design requirements.

8. 2. Structural Screening Requirements.

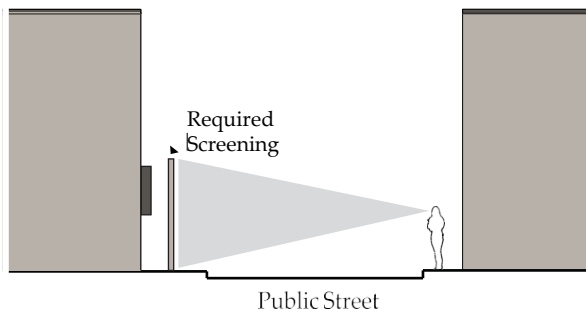
1. Service Areas

- A. Trash and recycling collection and other similar service areas must be located to the side or rear of buildings.
- B. Service areas must be screened on 3 sides by a wall a minimum of 6 feet in height or to the top of the equipment, whichever is higher up to 8 feet maximum. Service areas must be screened on the 4th side by a solid gate at a minimum of 6 feet in height. Screening must be of a height equal to or greater than the height of the mechanical equipment being screened.
- C. Refer to Design Guideline 1.1.8 for screening guidelines.



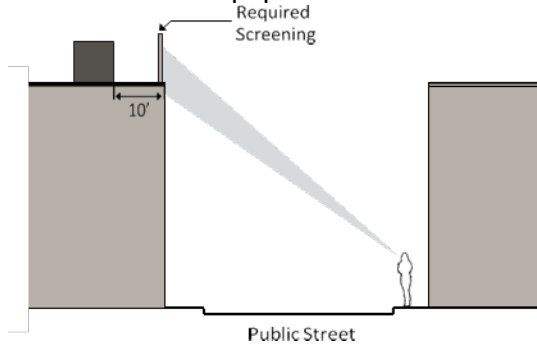
2. Wall-Mounted Equipment

- A. Wall-mounted equipment located on any surface that is visible from a public street (not including alleys) must be fully screened by landscape or an opaque wall or fence that matches the principal building in terms of texture, quality, material and color.
- B. For buildings with no or low parapet walls, roof-mounted equipment must be screened on all sides by an opaque screen that matches the principal building in terms of texture, quality, material and color.
- C. Roof-mounted solar panels are exempt from set back and screening requirements.



3. Roof-Mounted Equipment

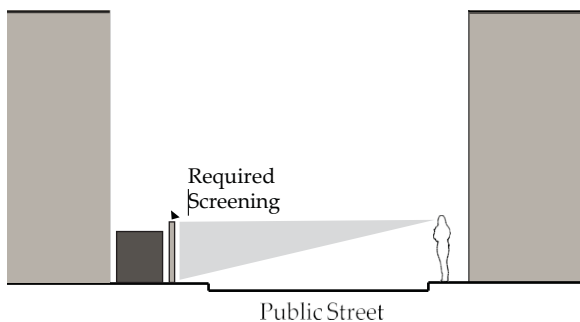
- A. Roof-mounted equipment must be set back at least 10 feet from the edge of the roof.



- B. New buildings must provide a parapet wall or other architectural element that matches the principal building in terms of texture, quality, material and color that fully screens roof-mounted equipment from ground level view at the public street.
- C. The gate and wall must be maintained in good working order and must remain closed except when trash pick-ups occur.

4. Ground-Mounted Equipment

- A. Ground-mounted mechanical equipment that is visible from a public street (not including an alley) must be fully screened by landscape or an opaque wall or fence that is compatible with the principal building in terms of texture, quality, material and color.
- B. Screening must be of a height equal to or greater than the height of the mechanical equipment being screened.



8. 3. Walls and Fences

1. Materials Specifications

- A. Walls must be constructed of high-quality materials including decorative blocks, brick, stone, cast-stone, split-faced block, stucco over standard concrete masonry blocks or glass blocks.
- B. Fences must be decorative and constructed of high-quality materials including wrought iron, composite fencing or aluminum.
- C. No wall or fence may be constructed of tires, junk, or other discarded materials.
- D. Chain-link fence, barbed wire or concertina wire is not permitted.
- E. A wall or fence in a required buffer, or used as a required screen, must be opaque.
- F. Location
- G. No wall or fence may be located within any required drainage or utility easement.
- H. The finished face of all walls and fences must be located toward the abutting property.
- I. For walls and fences located along a public right- of-way, the maximum length of a continuous, unbroken and uninterrupted fence or wall plane is 50 feet. Breaks must be provided through the use of columns or offset

2. Height Requirements

- A. Wall or fence height is measured from the subject property grade to the highest point of the fence.
- B. A wall or fence located in a side or rear setback may be no more than 8 feet in height. Fences over 6 feet require a building permit.
- C. A wall or fence located in a primary or side street setback may be no more than 6 feet in height, provided the area of the wall or fence above 4 feet in height is transparent.
- D. A wall or fence in a required buffer or used as a required screen may be no less than 6 feet and no more than 8 feet in height.

8. 4. Site Lighting Applicability

1. New Fixtures

All lighting fixtures installed after the effective date of this Town Center Code must conform to all applicable standards and requirements of this Chapter.

2. Existing Fixtures

- A. Routine maintenance, including changing the lamp, ballast, starter, photo control, fixture housing, lens and other required components, is allowed for all existing fixtures.
- B. The installation of site lighting, replacement of site lighting and changes to existing light fixture wattage, type of fixture, mounting or fixture location must be made in compliance with this Division.

3. Additions

When an existing building, use or site is increased in gross floor area or improved site area by

more than 25% cumulatively, both the existing building, use or site and the additional floor or site area must conform to the lighting requirements of this Division.

4. Change in Use

A change in use does not trigger application of this Chapter

8. 5. Site Lighting Standards

1. Light Level Measuring

- A. Light levels are specified, calculated and measured in footcandles. All footcandles values are maintained footcandles.
- B. Measurements are to be made at ground level, with the light-registering portion of the meter held parallel to the ground pointing up.

2. Prohibited Sources

The following light fixtures and sources cannot be used:

- A. Cobra-head-type fixtures having dished or drop lenses or refractors, which contain sources that are not incandescent.
- B. Temporary searchlights and other high-intensity narrow-beam fixtures; and
- C. Light sources that lack color correction or do not allow for uniform site lighting.

3. Design and installation

- A. The maximum light level of any light fixture cannot exceed 0.5 footcandles measured at the property line of any Low-Density Residential zone and 2.0 footcandles measured at the right- of-way line of a street.
- B. Lighting must not be oriented onto adjacent properties, streets or sidewalks.
- C. Service connections for all freestanding lighting fixtures must be installed underground.

4. Parking and Pedestrian Areas

- A. Light fixtures within vehicle parking areas may be no higher than 20 feet.
- B. Light fixtures within pedestrian areas may be no higher than 15 feet.
- C. Light fixtures located within 50 feet of the property line of a protected zone may be no higher than 15 feet.
- D. Light fixtures within 25 feet of a street right-of- way (not including an alley) must be forward throw fixtures.
- E. All light fixtures must be full cutoff, except as listed in paragraph F. below.



- F. All flood lamps emitting 1,000 or more lumens must be aimed at least 60 degrees down from horizontal or shielded so that the main beam is not visible from adjacent properties or the street right-of-way.
- G. Non-cutoff (unshielded) fixtures can be used for street lighting or when the maximum initial lumens generated by each fixture is less than 9,500 initial lamp lumens. These

fixtures generally feature globes or vertical glass planes and must be coated with an internal white frosting to diffuse light.



5. Overhead Utilities

All new developments must follow Sumner Municipal Code regarding overhead utilities on private property and where to underground them in the right of way. Where utilities, such as meters and conduits are exposed, screening trees must be planted sufficiently to screen the utilities.

6. Vehicular Canopies

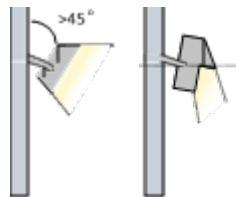
Lighting under vehicular canopies must be less than 24 maintained footcandles and be designed to prevent glare off-site. Acceptable lighting designs include the following:

A. Recessed

Recessed fixture incorporating a lens cover that is either recessed or flush with the bottom surface of the canopy.

7. Flood Lights and Flood Lamps

- A. Flood light fixtures must either be aimed down at least 45 degrees from vertical or the front of the fixture shielded so that no portion of the light bulb extends below the bottom edge of the shield.

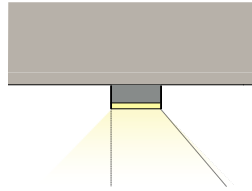


B. Shielded

Light fixture incorporating shields or is shielded by the edge of the canopy itself, so that light is restrained to 5 degrees or more below the horizontal plane; Any flood light fixture located within 50 feet of a street right-of-way must be mounted and aimed perpendicular to the right-of-way, with a side-to-side horizontal aiming tolerance not to exceed 15 degrees.

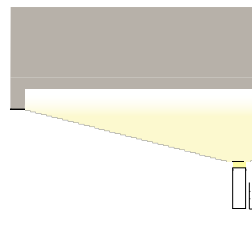
C. Surface Mounted

Surface mounted fixture incorporating a flat glass that provides a cutoff design or shielded light distribution; or



D. Indirect

Indirect lighting where light is beamed upward and then reflected down from the underside of the canopy, provided the fixture is shielded so that direct illumination is focused exclusively on the underside of the canopy.



8. Building Lighting

- A.** Lighting fixtures must be selected, located, aimed and shielded so that direct illumination is focused exclusively on the building facade, plantings and other intended site features and away from adjoining properties and the street right-of-way.
- B.** All wall pack fixtures must be full cutoff fixtures.



- C.** Only lighting used to accent architectural features, landscape or art may be directed upward, provided that the fixture is located, aimed or shielded to minimize light spill into the night sky.